

# AGENDA



PLANNING AND ZONING COMMISSION PUBLIC HEARING MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
**NOVEMBER 11, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## (I) CALL TO ORDER

## (II) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

## (III) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of Minutes for the October 28, 2025 Planning and Zoning Commission meeting.

### (2) **P2025-038 (BETHANY ROSS)**

Discuss and consider a request by Alejandro Rubio for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition being a 4.71-acre tract of land identified as Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182, Rockwall County, Texas, generally located southeast of the intersection of SH-276 and Rochell Road, and take any action necessary.

### (3) **P2025-039 (BETHANY ROSS)**

Discuss and consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

## (IV) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### (4) **Z2025-066 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a Zoning Change amending Planned Development District 78 (PD-78) [*Ordinance No. 20-27*] to change the *Garage Orientation* requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.

### (5) **Z2025-067 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a *Daycare Facility Exceeding the Maximum Building Size* in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

- (6) **Z2025-068 (HENRY LEE)**  
Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.
- (7) **Z2025-069 (HENRY LEE)**  
Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.
- (8) **Z2025-070 (BETHANY ROSS) [THE APPLICANT IS REQUESTING TO WITHDRAW THIS CASE]**  
Hold a public hearing to discuss and consider a request by Gage Raba of Hunington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary.
- (9) **Z2025-071 (BETHANY ROSS)**  
Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.
- (10) **Z2025-072 (HENRY LEE)**  
Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.
- (11) **Z2025-073 (HENRY LEE)**  
Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

#### (V) ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

- (12) **SP2025-041 (HENRY LEE) [THE APPLICANT IS REQUESTING TO TABLE THIS CASE TO JANUARY 13, 2026]**  
Discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore JV for the approval of a Site Plan for a Medical Office Building on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

#### (VI) DISCUSSION ITEMS

- (13) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).
- P2025-036: Final Plat for Lots 1-5, Block A, Houston-Rose Addition (**APPROVED**)



- P2025-037: Replat for Lot 2, Block A, Pott Shirgley Addition (**APPROVED**)
- MIS2025-018: Miscellaneous Case for a *Special Exception* for 307 Eva Place (**DENIED**)
- Z2025-057: Specific Use Permit (SUP) for a *Limited Service Hotel/Residence Hotel* along Fit Sport Boulevard (**DENIED**)
- Z2025-062: Specific Use Permit (SUP) for *Indoor Commercial Amusement* at 2071 Summer Lee Drive, Suite R103 (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-063: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Establish Subdivision* at 902 Aluminum Plant Road (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-064: Specific Use Permit (SUP) to *Exceed the Maximum Height in a Commercial (C) District* for 1020 La Jolla Pointe Drive (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-065: Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales* (**2<sup>ND</sup> READING; APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 5, 2025 at 5:00 PM, and remained so posted for at least three (3) business days preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
OCTOBER 28, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## 5 6 I. CALL TO ORDER

7  
8 **Chairman Dr. Jean Conway called the meeting to order at 6:00PM. Commissioners present were Ross Husting, John Hagaman, Carin Brock, Ellis  
9 Bentley, Douglas Roth and David Schoen. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee,  
10 Senior Planner Bethany Ross, Planning Coordinator Melanie Zavala, City Engineer Amy Williams and Civil Engineer Madelyn Price. Staff absent  
11 were Planning Technician Angelica Guevara and Assistant City Engineer Jonathan Browning.**

## 12 13 II. APPOINTMENTS

14  
15 **1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments  
16 for items on the agenda requiring architectural review.**

17  
18 **Senior Planner Henry Lee advised staff would provide ARB recommendations when staff presents the case.**

## 19 20 III. OPEN FORUM

21  
22 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the  
23 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN  
24 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings  
25 Act.*

26  
27 **Chairman Dr. Conway explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there  
28 being no one indicating such Chairman Dr. Conway closed the open forum.**

## 29 30 IV. CONSENT AGENDA

31  
32 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)  
33 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

34  
35 **2. Approval of the Minutes for the October 10, 2025 Planning and Zoning Commission meeting.**

### 36 37 **3. P2025-036 (RYAN MILLER)**

38 Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1-5, Block A, Houston-Rose Addition being a 1.956-acre tract of land identified  
39 as Lots 1-4, Block T; Lots 1-4, Block U; Lots 1-3, Block V; and Lots 1-3, Block W, Rockwall OT Addition and Lots A & D, Block 8, Griffith Addition, City of  
40 Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 301 & 303 Denison Street, 203-305 Fannin Street, and 306 & 308 E.  
41 Washington Street, and take any action necessary.

### 42 43 **4. P2025-037 (HENRY LEE)**

44 Consider a request by David Stanglin of Ruffin Custom Buildings for the approval of a Replat for Lot 2, Block A, Pott Shrigley Addition being a 2.00-acre parcel  
45 of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 992  
46 Sids Road, and take any action necessary.

47  
48 **Commissioner Hustings made a motion to approve the Consent Agenda. Commissioner Brock seconded the motion which passed by a vote of 7-0.**

## 49 50 V. ACTION ITEMS

51  
52 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special  
53 exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

### 54 55 **5. MIS2025-018 (HENRY LEE)**

56 Discuss and consider a request by Noah Dawit for a Special Request for an Exception to the Exterior Material requirements of Planned Development District 75  
57 (PD-75) for a 0.688-acre tract of land identified as a portion of Lot 776A and all of Lots 774A & 775A of the Lake Rockwall Estates #2 Addition, City of Rockwall,  
58 Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 370 Eva Place, and take  
59 any action necessary

60  
61 **Senior Planner Henry Lee provided a brief summary regarding the applicant's request. The applicant is seeking an exception to the exterior material  
62 requirements for the subject property. By way of background, on October 9th, the applicant was approved by the Board of Adjustments (BOA) to  
63 elevate the existing manufactured home on stilts on the subject property. This approval was considered an expansion of a legally non-conforming  
64 structure. According to the Unified Development Code (UDC), when a legally non-conforming structure is expanded, it becomes subject to the other**

65 requirements of that zoning district. In this case, the property falls under two different categories. First, within Planned Development 75 (PD-75), new  
66 structures are required to have a minimum of 60% Hardie board siding. Second, the replacement of a manufactured home requires 90% masonry  
67 materials and a 3:12 roof pitch. The applicant's request pertains to keeping the existing materials on the home, which appear to be a composite  
68 board or OSB panel rather than Hardie board or a similar approved product. Staff also noted that the applicant initially approached the BOA for  
69 approval to elevate the home due to the property being entirely within the floodplain. Additionally, several unpermitted improvements have been  
70 made on the property, including a fire pit, a bridge, and a fence all located within the floodplain. These items have not been removed, and citations  
71 have been issued in relation to these violations.

72  
73 Commissioner Hagaman asked if this case was for the exterior materials and not the fence or bridge.

74  
75 Commissioner Schoen asked if the two requirements that need to be met are the mobile home replacement as well as the non-conforming structure.

76  
77 Senior Planner Henry Lee explained that when the BOA approves an expansion to a non-conforming structure it is then subject to the requirements  
78 of that district.

79  
80 Commissioner Brock asked if recently we had approved a case similar to this in regards to materials for hardie board.

81  
82 Chairman Dr. Conway asked about the stilts and what material they would be using.

83  
84 Senior Planner Henry Lee explained they would be cedar stilts.

85  
86 Commissioner Bentley asked if there would be any requirements on the stilts themselves.

87  
88 Commissioner Roth asked if they're just approving the materials.

89  
90 Director of Planning and Zoning Ryan Miller explained that it can structurally support the weight.

91  
92 Juan Fuentes  
93 370 Eva Place  
94 Rockwall, TX 75032

95  
96 Mr. Fuentes came forward and provided additional details regarding his request.

97  
98 Commissioner Brock asked if the request was for financial decision.

99  
100 Commissioner Hagaman made a motion to deny MIS2025-018. Chairman Dr. Conway seconded the motion which was denied by a vote of 4-3 with  
101 Commissioner Brock, Roth and Husting dissenting.

102  
103 VI. DISCUSSION ITEMS

104  
105 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*  
106 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*  
107 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*  
108 *following cases is November 11, 2025.*

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111 **6. Z2025-066 (RYAN MILLER)**

112 Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a  
113 Zoning Change amending Planned Development District 78 (PD-78) [*Ordinance No. 20-27*] to change the *Garage Orientation* requirements for a 316.315-acre  
114 tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9,  
115 Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas,  
116 zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District,  
117 generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.

118  
119 Director of Planning and Zoning Ryan Miller provided a summary regarding the applicant's request. The original Planned Development District has  
120 been approved, and the lots within this subdivision have already been platted. The applicant is proposing a minor amendment to the PD ordinance  
121 specifically, a change to permit the inclusion of side-entry garages. While side-entry garages are generally discouraged on smaller lots due to limited  
122 maneuvering space, in this case, each lot is a minimum of three-quarters of an acre. Therefore, the proposed change may enhance architectural  
123 variety and improve the visual character of the subdivision.

124  
125 Alyson DiBlasi  
126 15400 Knoll Trail Drive  
127 Suite 230  
128 Dallas, TX 75248

129  
130 Mrs. DiBlasi came forward and explained her dad was the one in charge of the project and explained he didn't realize side entry garage was left out.

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132 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.

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7. **Z2025-067 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a summary regarding the applicant's request. He noted that this matter previously came before the Commission as a zoning case. At that time, the applicant had requested a General Retail District designation to accommodate a proposed building exceeding 5,000 square feet. However, both the Planning and Zoning Commission and the City Council determined that a Neighborhood Services designation would be more appropriate. Although the applicant's proposed use as a daycare facility appeared acceptable, it was concluded that the building size could be addressed through the Specific Use Permit process. The applicant is now requesting approval for a building exceeding 5,000 square feet for the proposed daycare facility. The design includes a pitched roof and residential-style architecture intended to complement the character of the surrounding area.

**Craig Brooks**  
1215 Ridge Road West  
Rockwall, TX 75087

Mr. Brooks came forward and explained they are requesting to exceed the SF amount.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.

8. **Z2025-068 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a recording studio on the subject property.

**Randy Lee Aragon**  
206 E. Washington Street  
Rockwall, TX 75032

Mr. Aragon came forward and explained the School of Rock and are wanting to add a recording studio since there is a back room that is already sound proofed.

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.

9. **Z2025-069 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicant's request. This structure was built without a permit and was required with the standard fee of the SUP application and was require to pay the non-compliance structure fee. The current building is not on the required concrete foundation.

**Kevin Sayles**  
24 Shady Dale Lane  
Rockwall, TX 75032

Mr. Sayles came forward and expressed he purchased the home back in July and didn't realize a permit was going to be required.

Commissioner Brock asked how big is the lot.

Director of Planning and Zoning Ryan Miller said it was .417

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.

10. **Z2025-070 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Gage Raba of Hunington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light



200 Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the  
201 northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary.

202  
203 **Mike Feathers**  
204 **203 W. Nash Street**  
205 **Suite 100**  
206 **Terrell, TX 75160**  
207

208 **Mr. Feathers explained that he has been in communication with City staff regarding compliance with the City of Rockwall's requirements related to**  
209 **zoning, overlay standards, landscaping, and similar development criteria. He stated that they have been working collaboratively with the City to**  
210 **address these matters and to prepare the property for future commercial development.**  
211

212 **The Director of Planning and Zoning Ryan Miller provided an overview of the applicant's request. The I-30 Corridor Plan identifies this site as a**  
213 **strategically located property within a designated "transitional zone." However, the Director observed that the property more closely aligns with**  
214 **what could be considered an "opportunity zone," as it is among the last remaining vacant tracts of land along the I-30 corridor within the city limits.**  
215 **The plan had originally earmarked this property as suitable for mixed-use or town center-style development. The current concept plan, based on its**  
216 **layout, aligns more closely with a traditional strip-style commercial development, which is also referenced in the I-30 Corridor Plan but not as one**  
217 **of the preferred models for this specific site. The applicant's concept depicts multiple pad sites divided by two public rights-of-way—one running**  
218 **north-south and another east-west. The proposed uses include several quick-service restaurants (QSRs), small retail strip centers, a fitness center,**  
219 **a car wash, a retail store with gasoline sales, and several undefined pad sites. The design shows numerous drive-throughs. Because the applicant**  
220 **is requesting a commercial base zoning designation consistent with the Special Commercial Corridor, many of the proposed uses are permitted by**  
221 **right. However, the applicant has modified the use list to include two uses not typically allowed by right in the commercial district: (1) a full-service**  
222 **hotel, and (2) a craft brewery, distillery, or winery. These uses generally require a Specific Use Permit (SUP) in the commercial district. In addition,**  
223 **the applicant has proposed prohibiting several uses that are otherwise permitted in the base district, and this list is included within the proposed**  
224 **Planned Development (PD) ordinance provided in the packet. The property falls within two overlay districts, and the development has been subjected**  
225 **to the standards of both. At present, the proposed building elevations do not fully meet several key design requirements. Staff has detailed these**  
226 **deficiencies and will continue to work with the applicant to address them. Additional staff comments relate to the objectives outlined in the I-30**  
227 **Corridor Plan, including the incorporation of a central green space or community gathering area, and the establishment of a trail plan connecting all**  
228 **on-site uses. The current concept is more auto-oriented than pedestrian-friendly. Staff emphasized the City's goal for developments in the corridor**  
229 **to accommodate both vehicular and pedestrian activity encouraging interaction between uses without requiring vehicle movement between them.**  
230 **The applicant has also submitted a comprehensive signage plan, which is typical for large shopping centers along I-30. Similar to other developments**  
231 **in the area, this plan will require City Council approval. The proposed signage plan and associated elevations have been included in the PD submittal**  
232 **package, with two versions currently under consideration. Because this site spans multiple planning documents, staff has incorporated language**  
233 **from both the I-30 Corridor Plan and the John King Boulevard Overlay District Plan. This includes provisions for trail connections and gateway**  
234 **features at prominent corner locations.**  
235

236 **Commissioner Brock mentioned that they're looking for high quality development.**  
237

238 **Commissioner Hagaman mentioned if the way they have it drawn do they only envision small shops.**  
239

240 **Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.**  
241

242 **11. Z2025-071 (BETHANY ROSS)**

243 **Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an**  
244 **Established Subdivision and a *Guest Quarters/Secondary Living Unit* for the purpose of constructing a single-family home on a 5.05-acre parcel of land**  
245 **identified as a Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District,**  
246 **addressed as 2592 FM-549, and take any action necessary.**  
247

248 **Director of Planning and Zoning Ryan Miller explained they are requesting a Specific Use Permit (SUP) for a Residential Infill. They will also be**  
249 **having a guest quarters/ secondary living unit. The guest quarters will also require a SUP. Staff is still working with the applicant to go over logistical**  
250 **issues.**

251 **Michael Lewis**  
252 **2592 FM 549**  
253 **Rockwall, TX 75032**  
254

255 **Mr. Lewis came forward and provided additional details in regards to the applicants request.**  
256

257 **Commissioner Hagaman asked if two homes would be allowed on the same lot.**  
258

259 **Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.**  
260

261 **12. Z2025-072 (HENRY LEE)**

262 **Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings,**  
263 **LLC for the approval of a *Zoning Change* from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail**  
264 **(GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of**  
265 **Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District,**  
266 **generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.**  
267

268 James Martin  
269 7034 Coronado Avenue  
270 Dallas, TX 75214  
271

272 Bart Gardner  
273 1066 Candice Circle  
274 Rockwall, TX 75032  
275

276 Mr. Martin came forward and explained there is a bunch of business coming into town therefore they decided to make an offer on the property. It  
277 would all be under a Planned Development District (PD). He mentioned the plan was to develop in phases.  
278

279 Mr. Gardner came forward and explained that the vision of this project is to build a retail space with more food options.  
280

281 Commissioner Hagaman asked if this was the property in front of the RISE building.  
282

283 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. With the General Retail at the front they had asked to have  
284 restaurants that are greater or less then 2,000 SF with a drive-through be permitted by right. Staff removed the drive through less than 2,000 SF to  
285 be permitted by right that would still need a SUP but staff did leave the restaurant greater then 2,000SF with a drive-through.  
286

287 Director of Planning and Zoning Ryan Miller followed up with General Retail district does not allow any drive through restaurants without a Specific  
288 Use Permit (SUP) the reason for that is since it is typical closer to residential areas. In this case it is not close to a residential area and what they're  
289 trying to achieve is they're adding the stricter requirements closer to the road.  
290

291 Mr. Gardner mentioned they would not have outside storage.  
292

293 Director of Planning and Zoning Ryan Miller mentioned that sewer is dependent on the Juniper subdivision as it phases out.  
294

295 Commissioner Brock mentioned she needs to see all the comments made incorporated into the plan.  
296

297 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.  
298

299 13. **Z2025-073 (HENRY LEE)**

300 Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for  
301 the approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey,  
302 Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally  
303 located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.  
304

305 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a SUP for a Major Auto Repair  
306 Garage. Explained the Architectural Review Board (ARB) will still have to look at the articulation.  
307

308 Tyler Adams  
309 100 N Cottonwood Drive  
310 Suite 104  
311 Richardson, TX 75080  
312

313 Mr. Adams came forward and explained they had been looking for a site for this project. Explained he got Comments from Staff and has been working  
314 with them.  
315

316 Commissioner Hagaman asked about outside storage.  
317

318 Commissioner Brock mentioned this was close to residential and explained this would need more screening.  
319

320 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.  
321

322 14. **P2025-038 (BETHANY ROSS)**

323 Discuss and consider a request by Alejandro Rubio for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition being a 4.71-acre tract of land  
324 identified as Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182, Rockwall  
325 County, Texas, generally located southeast of the intersection of SH-276 and Rochell Road, and take any action necessary.  
326

327 Director of Planning and Zoning Ryan Miller explained staff had to send this to Rockwall County for review and will come back November 11<sup>th</sup> on the  
328 Consent Agenda.  
329

330 15. **P2025-039 (BETHANY ROSS)**

331 Discuss and consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary  
332 Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas,  
333 generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.  
334

335 Director of Planning and Zoning Ryan Miller explained staff had to send this to Rockwall County for review and will come back November 11<sup>th</sup> on the  
Consent Agenda.

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16. **SP2025-041 (HENRY LEE)**

Discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a Site Plan for a *Medical Office Building* on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [*SH-205*], and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regard to the applicant's request. This case might seem familiar since they came in for a PD Development Plan. Staff mentioned that ARB did provide comments related to building materials and articulation requirements.

Lisa Deaton  
23134 Hwy 22  
Yuma, TN 38390

Mrs. Deaton came forward and provided additional details in regards to her request.

Commissioner Schoen asked if this will return on November 11<sup>th</sup>

Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on November 11, 2025.

17. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2025-032: Final Plat for Lot 1 & 2, Block A, Sweat Addition (**APPROVED**)
- Z2025-059: Zoning Change from Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District Land Uses for a Single-Family Subdivision (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-062: Specific Use Permit (SUP) for *Indoor Commercial Amusement* at 2071 Summer Lee Drive, Suite R103 (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-063: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Establish Subdivision* at 902 Aluminum Plant Road (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-064: Specific Use Permit (SUP) to *Exceed the Maximum Height in a Commercial (C) District* for 1020 La Jolla Pointe Drive (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-065: Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales* (**1<sup>ST</sup> READING; APPROVED**)
- MIS2025-017: Miscellaneous Case for an *Alternative Tree Mitigation Settlement Agreement* for the Erwin Farms Subdivision (**APPROVED**)

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced case at the City Council meeting.

VII. ADJOURNMENT

Chairman Dr. Conway adjourned the meeting at 7:38 PM

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Dr. Jean Conway, Chairman

Attest:  
\_\_\_\_\_  
Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** November 11, 2025  
**APPLICANT:** Alejandro Rubio  
**CASE NUMBER:** P2025-038; *Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition*

---

### SUMMARY

Consider a request by Alejandro Rubio for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition being a 4.71-acre tract of land identified as Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182, Rockwall County, Texas, generally located southeast of the intersection of SH-276 and Rochell Road, and take any action necessary.

### PLAT INFORMATION

- ☑ Purpose. The purpose of the applicant's request is to Preliminary Plat a 4.71-acre tract of land for the purpose of consolidating three (3) tracts of land (*i.e. Tracts 7 & 7-1 of the H. K. Newell Survey, Abstract No. 167, and a portion of Tract 2-1 of the J. H. Robnett Survey, Abstract No. 182*) into two (2) parcels of land (*i.e. Lot 1 & 2, Block A, Rubio Addition*). The proposed Preliminary Plat also lays out the necessary easements (*e.g. right-of-way, utilities, and drainage*) for the future development of the subject property.
- ☑ Requirements. The proposed Preliminary Plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interlocal Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Rockwall County Interlocal Agreement. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of *Exhibit 'A'* of the *Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the *Lots 1 & 2, Block A, Rubio Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city



adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 3371 State Hwy 276 Rockwall TX 75032  
 SUBDIVISION: Rubio Addition LOT: 1,2 BLOCK: A  
 GENERAL LOCATION: Hwy 276, Rochell Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: \_\_\_\_\_ CURRENT USE: AG  
 PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_  
 ACREAGE: 4.7 LOTS [CURRENT]: 2 LOTS [PROPOSED]: 2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Alejandro Rubio  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Alejandro Rubio CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 3371 State Hwy 276 ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 E-MAIL: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alejandro Rubio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

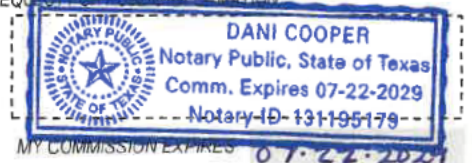
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF October, 2025

OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*





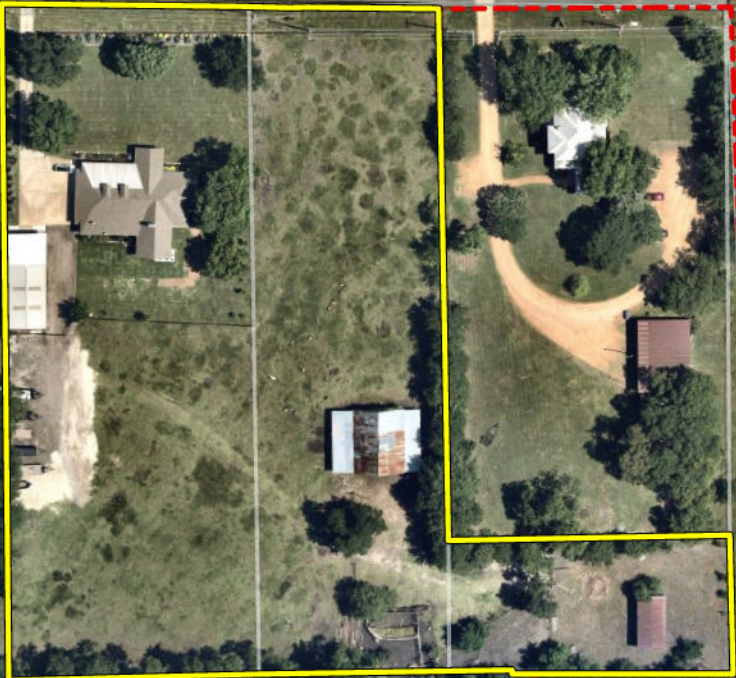
0 55 110 220 330 440 Feet

P2025-038: Preliminary Plat for Lots 1 & 2, Block A, Rubio Addition

PD-78

LI

276



PD-66

SF-10

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





STATE HIGHWAY 276

R.O.W. STATE OF TEXAS  
VOL. 45, PG. 463

T.P. & L. CO. ESMT. (BLANKET)  
V. 33, P. 80 & V. 66, P. 399

S 87° 57' 55" E 227.49' OVERHEAD ELEC LINES  
193.41' 15' UTIL. ESMT. 34.08' CONCRETE MONUMENT N 89° 09' 43" E

15' BLACKLAND W.S.C. ESMT.  
V. 75, P. 590

2.777 ACRES  
JO ANN LOFTIS  
TO  
DANIEL R. MENDEZ  
ALEXANDER MENJIVAR  
DOC# 2015000005184  
O.P.R.R.C.T.

LOT 1  
1.50 ACRES  
65,340 S.F.

2.145 ACRES  
JOE LOFTIS & JO ANN LOFTIS  
TO  
DONALD E. WADDLE & HOLLY D. WADDLE  
VOL. 778, PG. 180  
R.P.R.R.C.T.

TO  
JOHN W. SHARP  
VOL. 5569, PG. 138

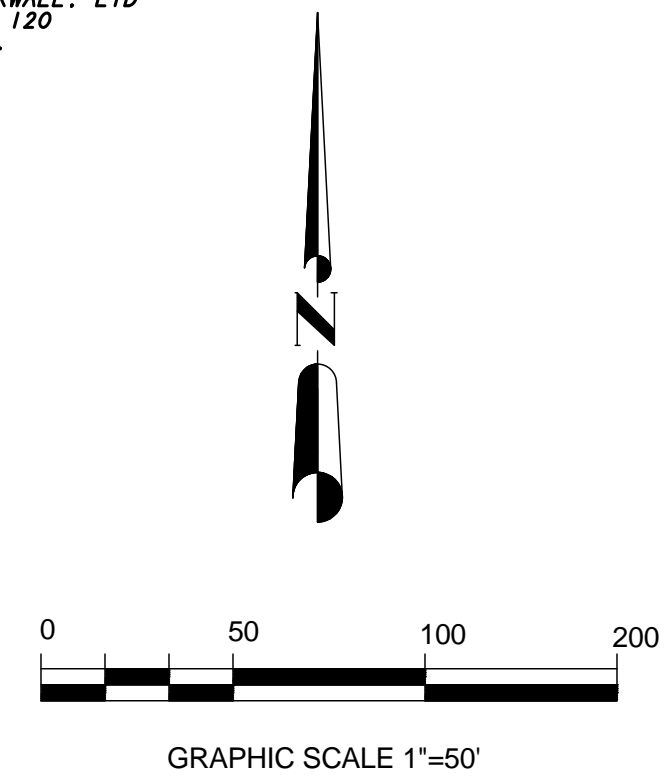
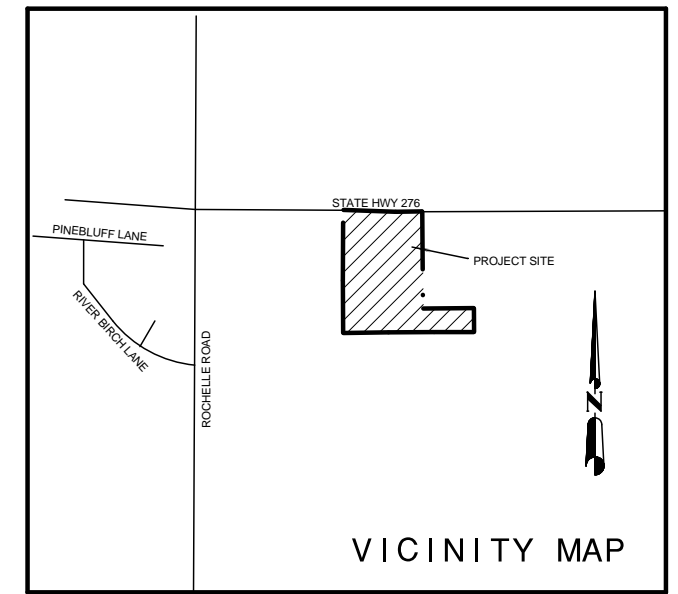
234.70 ACRES  
JOE D. LOFTIS & JO ANN LOFTIS  
TO  
THE HIGHLANDS OF ROCKWALL, LTD  
VOL. 5020, PG. 120  
O.P.R.R.C.T.

2.00 ACRES  
ROBERT K. HARVEY  
VOL. 1452, PG. 253  
R.P.R.R.C.T.

LOT 2  
3.21 ACRES  
139,623 S.F.

234.70 ACRES  
JOE D. LOFTIS & JO ANN LOFTIS  
TO  
THE HIGHLANDS OF ROCKWALL, LTD  
VOL. 5020, PG. 120  
O.P.R.R.C.T.

TRACT ONE  
RIDGE HAVEN ESTATES NO. 2  
CAB. A, SLIDE 245  
P.R.R.C.T.



PRELIMINARY PLAT  
RUBIO ADDITION  
LOT 1 & 2  
BLOCK A  
2 LOTS - 4.71 ACRES/204,963 S.F.  
IN THE ETJ OF CITY OF ROCKWALL  
H.K. NEWELL SURVEY, ABST. 167  
ROCKWALL COUNTY, TEXAS

OWNERS:  
ALEJANDRO RUBIO  
3371 SH 276  
ROCKWALL, TX 75032

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 10, 2025  
SCALE 1" = 50' FILE # 20040793-PP  
CLIENT RUBIO

SHEET 1 OF 2

GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

SURVEYOR'S NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0045 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS " RPLS 5034."



OWNER'S CERTIFICATE  
(Public Dedication)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, Alejandro Rubio, being the owner of a tract of land in the H.K. Newell Survey, Abstract No. 167, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the J.C. NEWELL SURVEY, ABSTRACT NO. 167, Rockwall County, Texas, and being a part of a 296.60 acres tract of land as described in a Warranty deed from Emma L. Rochell to Joe D. Loftis and Jo Ann Loftis, dated May 20, 1988 and being recorded in Volume 403, Page 283 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the southeast corner of a 2.00 acres tract of land a described in a Warranty deed to Robert K. Harvey, as recorded in Volume 1452, Page 253 of the Real Property Records of Rockwall County, Texas, and being in the north line of Tract One, RIDGE HAVEN ESTATES NO. 2, an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 245 of the Plat Records of Rockwall County, Texas;

THENCE N. 00 deg. 12 min. 52 sec. W. along the east line of said 2.00 acres tract, a distance of 227.43 feet to a 1/2" iron rod found for corner at the northeast corner of same;

THENCE N. 00 deg. 10 min. 34 sec. E., passing a 3" steel fence post at 304.71 feet and continuing for a total distance of 306.85 feet to a 5/8" iron rod found for corner in the south right-of-way line of State Highway 276;

THENCE S. 87 deg. 57 min. 55 sec. E. along said right-of-way line, a distance of 227.49 feet to a concrete TXDOT monument found for corner;

THENCE N. 89 deg. 09 min. 43 sec. E. along said right-of-way line, a distance of 115.92 feet to a 1/2" iron rod found for corner at the northwest corner of a 2.145 acres tract of land as described in a Warranty deed to John W. Sharp, as recorded in Volume 5569, Page 138 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 deg. 25 min. 20 sec. E. along the west line of said 2.145 acres tract, a distance of 421.64 feet to a 1/2" iron rod found for corner at the southwest corner of same;

THENCE N. 89 deg. 30 min. 39 sec. E. along the south line of said 2.145 acres tract, a distance of 221.12 feet to a 1/2" iron rod found for corner at the southeast corner of same;

THENCE S. 00 deg. 22 min. 52 sec. E. a distance of 104.15 feet to a 1/2" iron rod found for corner;

THENCE N. 90 deg. 00 min. 00 sec. W. a distance of 172.76 feet to a 1/2" iron rod found for corner at the northeast corner of Tract One, RIDGE HAVEN ESTATES NO. 2, an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 245 of the Plat Records of Rockwall County, Texas;

THENCE S. 89 deg. 40 min. 49 sec. W. along the north line of said Tract One, a distance of 198.69 feet to a 1/2" iron rod found for corner;

THENCE S. 89 deg. 09 min. 23 sec. W. along the north line of said Tract One, a distance of 196.83 feet to the POINT OF BEGINNING and containing 204,963 square feet or 4.71 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as RUBIO ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in RUBIO ADDITION, LOTS 1 & 2, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

\_\_\_\_\_  
Alejandro Rubio

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Alejandro Rubio, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Notary Public

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

\_\_\_\_\_  
Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034



APPROVED: I hereby certify that the above and foregoing subdivision plat of RUBIO ADDITION, LOTS 1 & 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Mayor of City of Rockwall

\_\_\_\_\_  
Planning and Zoning Commission Chairman

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

STATE OF TEXAS  
COUNTY OF ROCKWALL

RECOMMENDED FOR FINAL APPROVAL

I, Frank New, County Judge of Rockwall County, Texas, do hereby certify that the foregoing plat was approved and accepted by the Commissioner's Court of Rockwall County on the \_\_\_\_\_ day of \_\_\_\_\_, 2025 as shown of record in the Minutes of said Court.

WITNESS MY HAND AND SEAL OF OFFICE IN ROCKWALL COUNTY, TEXAS, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Frank New  
Rockwall County Judge

ATTEST:  
  
\_\_\_\_\_

PRELIMINARY PLAT  
RUBIO ADDITION  
LOT 1 & 2  
BLOCK A

2 LOTS - 4.71 ACRES / 204,963 S.F.

IN THE ETJ OF CITY OF ROCKWALL

H.K. NEWELL SURVEY, ABST. 167  
ROCKWALL COUNTY, TEXAS

OWNERS:  
ALEJANDRO RUBIO  
3371 SH 276  
ROCKWALL, TX 75032

SHEET 2 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 10, 2025  
SCALE 1" = 50' FILE # 20040793-PP  
CLIENT RUBIO

CITY CASE NO. P2025-



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 11, 2025  
**APPLICANT:** Sam Carroll; *Carroll Consulting Group, Inc.*  
**CASE NUMBER:** P2025-039; *Preliminary Plat for the Landon, Phase 2*

---

### SUMMARY

Consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Jim Bell of Harlan Properties, Inc. for the approval of a Preliminary Plat for The Landon Phase 2 Subdivision being a 93.357-acre parcel of land identified as Lot 20, Block A, The Landon Addition, Rockwall County, Texas, generally located northeast of the intersection of S. Munson Road and Laci Lane, and take any action necessary.

### PLAT INFORMATION

- Purpose. The purpose of the applicant's request is to Preliminary Plat a 93.357-acre parcel of land (*i.e. Lot 20, Block A, The Landon Addition*) to show the future establishment of 50 single-family residential lots and six (6) open space lots. The proposed Preliminary Plat also lays out the necessary easements (*e.g. right-of-way, utilities, and drainage*) for the future development of a residential subdivision on the subject property.
- Requirements. The proposed Preliminary Plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interlocal Agreement between Rockwall County and the City of Rockwall*.
- Conformance to the Rockwall County Interlocal Agreement. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of *Exhibit 'A'* of the *Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the *Landon, Phase 2* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city

adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE**  
PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

**PLATTING APPLICATION FEES:**

MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>

FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1230 Streetman Road - Property ID# 114821

SUBDIVISION The Landon Phase Two LOT BLOCK

GENERAL LOCATION Lot 20 of the Landon/South of the Streetman Road and S. Munson road intersection

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING ETJ CURRENT USE SINGLE FAMILY

PROPOSED ZONING ETJ PROPOSED USE SINGLE FAMILY

ACREAGE 93.357 LOTS [CURRENT] 1 LOTS [PROPOSED] 50

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER Harlan Properties, Inc.	<input checked="" type="checkbox"/> APPLICANT Carroll Consulting Group, Inc.
CONTACT PERSON Jim Bell	CONTACT PERSON Sam Carroll
ADDRESS 2404 Texas Dr. Suite 103	ADDRESS 203 W. FM 6
CITY, STATE & ZIP Irving, TX 75062	CITY, STATE & ZIP Nevada, TX 75173
PHONE [REDACTED]	PHONE [REDACTED]
E-MAIL [REDACTED]	E-MAIL [REDACTED]

## NOTARY VERIFICATION [REQUIRED]

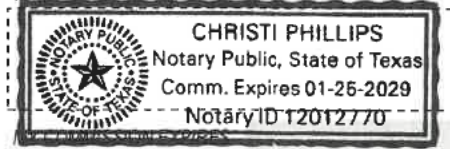
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sam Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,600.36 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF October, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF October, 2025

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]






0 245 490 980 1,470 1,960 Feet

P2025-039: Preliminary Plat for The Landon Phase 2



Case Location Map = 



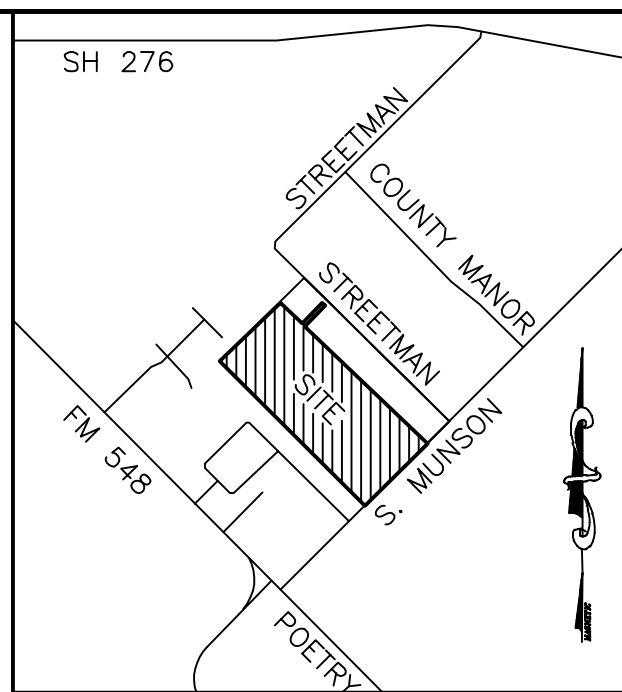
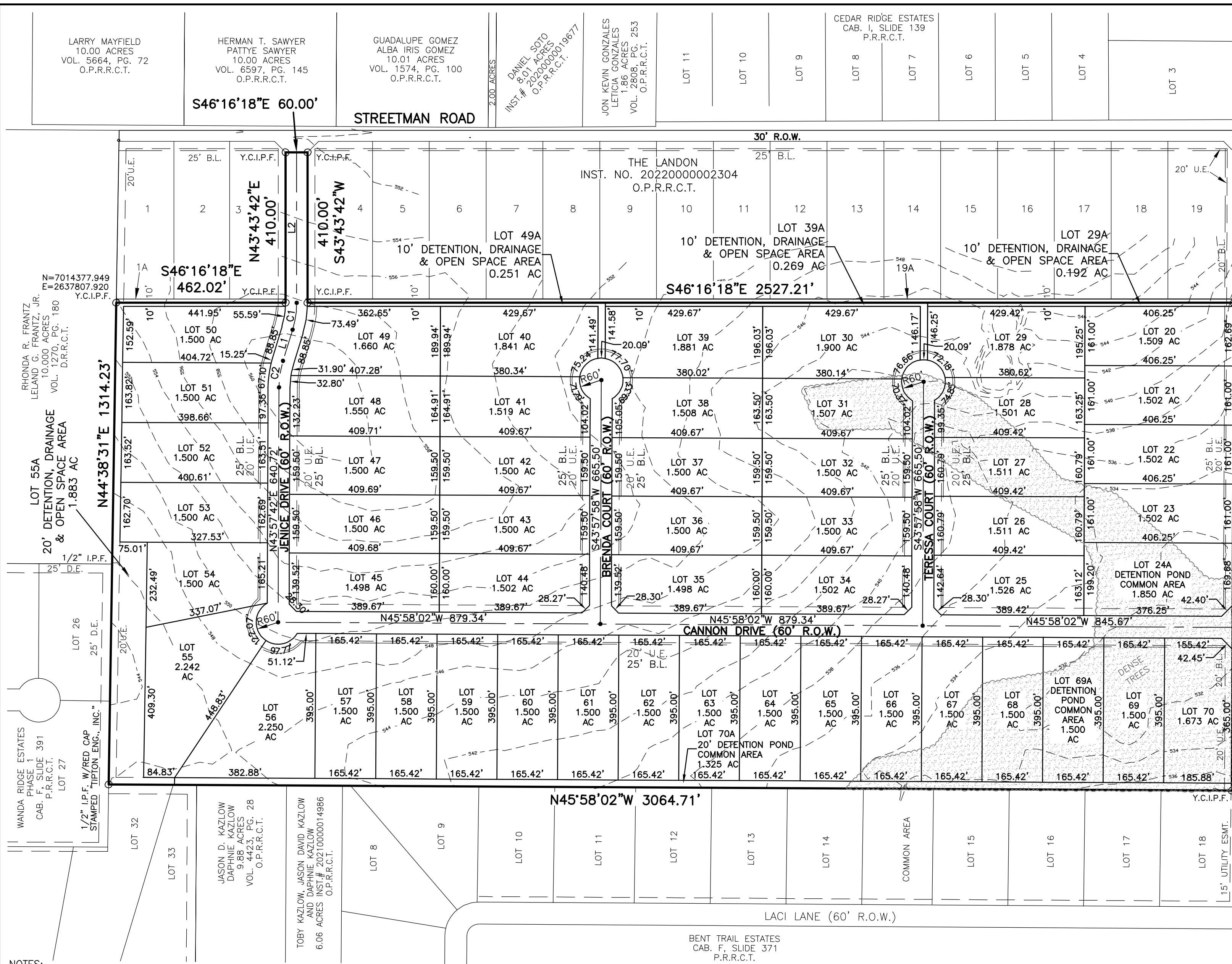
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

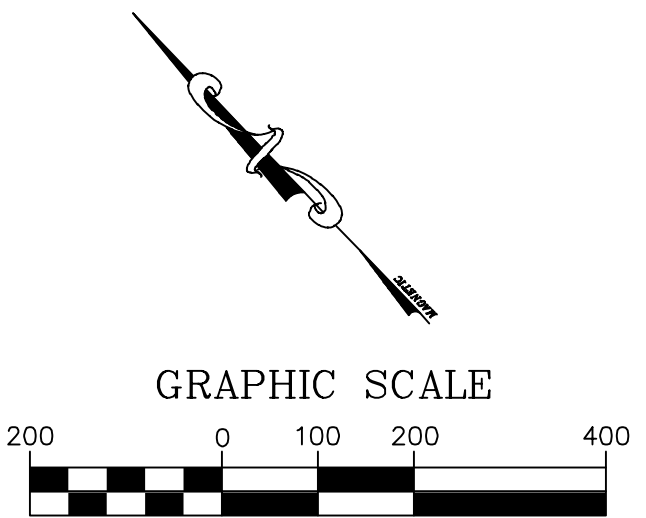
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LOCATION MAP (N.T.S.)



Line Table

Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table

Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

**POINT OF BEGINNING**  
 N=7011312.668  
 E=2639087.792

- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.
  6. 1.8 Dwelling units per acre.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**LEGEND**

M.N.S. - MAG NAIL SET  
 I.P.F. - IRON PIN FOUND  
 D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
 Y.C.I.P.F. - 1/2" IRON PIN FOUND WITH YELLOW CAP STAMPED "CCG INC RPLS 5129"

ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

**FLOOD NOTE:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**OWNER:**  
 HARLAN PROPERTIES, INC.  
 2404 TEXAS DR., SUITE 103  
 IRVING, TEXAS 75062

**PRELIMINARY PLAT**  
**THE LANDON PHASE TWO**  
 LOTS 20-70 & LOTS 29A, 39A, 49A,  
 55A, 69A & 70A, BLOCK A  
 50 Residential Lots  
 93.357 Acres of Land  
 Being a replat of Lot 20 of The Landon  
 Inst. No. 2022000002304, O.P.R.R.C.T.  
 Samuel McFadgin Survey, Abstract No. 142  
 Situated within the  
 Extraterritorial Jurisdiction (ETJ)  
 of the City of Rockwall  
 Rockwall County, Texas  
 Case No.:

**CARROLL CONSULTING GROUP, INC.**  
 203 W. FM 6 NEVADA, TEXAS 75173  
 PHONE (972) 840-1506  
 TBPELS REGISTRATION NO.: F-21608  
 TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
3693-25	1"=200'	OCTOBER 17, 2025	CP

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas, Harlan Properties, Inc. is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being all of Lot 20, Block A of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 2022000002304, Official Public Records, Rockwall County, Texas and as conveyed to Harlan Properties, Inc. by deed recorded in Instrument No. 2024000000232, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the south corner of said Lot 20 and being on the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas and the northwest right-of-way line of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said Lot 20, the northeast line of said Bent Trail Estates, the northeast line of a 6.06 acre tract of land conveyed to Toby Kazlow, Jason David Kazlow and Daphnie Kazlow by deed recorded in Instrument No. 20210000014986, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and a northeast line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, a distance of 3064.71 feet to a 1/2" iron pin found with red cap stamped "TIPTON ENG. INC." for the west corner of said Lot 20 and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said Lot 20, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for a north corner of said Lot 20 and the west corner of The Landon, an addition to Rockwall County, Texas, according to the plat thereof recorded in Instrument No. 2022000002304, Official Public Records, Rockwall County, Texas;

Thence, southeasterly, along the common lines of said Lot 20 and The Landon the following:

South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for corner;

South 46°16'18" East, a distance of 2527.21 feet to a 1/2" iron pin found with yellow cap stamped "CCG INC RPLS 5129" for the east corner of said Lot 20 and the south corner of said The Landon, and being on the northwest right-of-way line of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said Lot 20 and the northwest right-of-way line of S. Munson Road, a distance of 1330.36 feet to the Point of Beginning and containing 4,066,627 square feet or 93.357 acres of land.

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas.
My commission expires: \_\_\_\_\_

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_ day of \_\_\_\_\_, 2025.

Harlan Properties, Inc., Owner

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_ DAY OF \_\_\_\_\_, 2025.

Notary Public for the State of Texas
My Commission expires \_\_\_\_\_

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 20\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

PRELIMINARY PLAT

THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A

50 Residential Lots
93.357 Acres of Land

Being a replat of Lot 20 of The Landon
Inst. No. 2022000002304, O.P.R.R.C.T.

Samuel McFadgin Survey, Abstract No. 142
Situated within the
Extraterritorial Jurisdiction (ETJ)

of the City of Rockwall
Rockwall County, Texas

Case No.:

OWNER:
HARLAN PROPERTIES, INC.
2404 TEXAS DR., SUITE 103
IRVING, TEXAS 75062

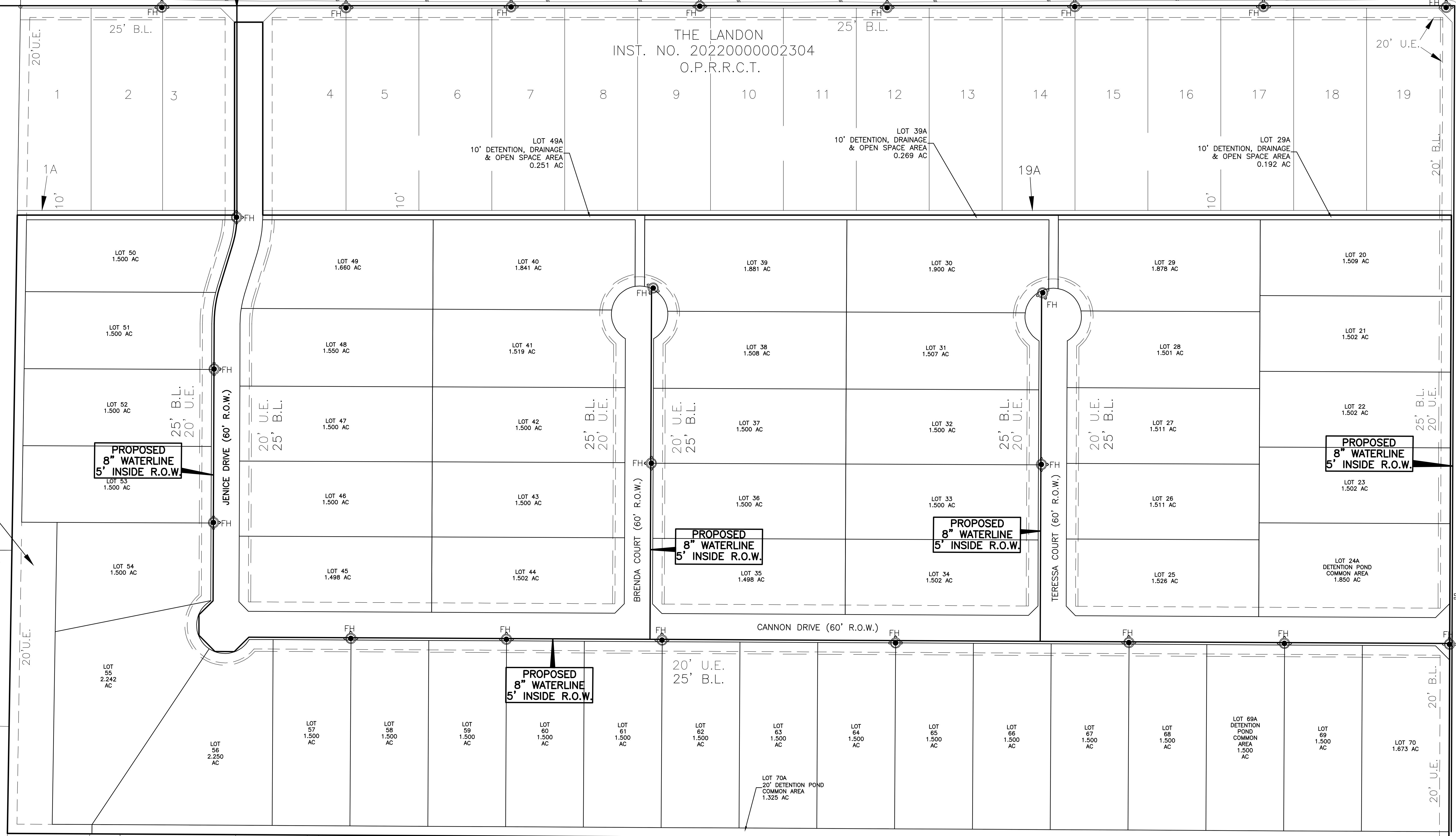
CARROLL CONSULTING GROUP, INC.

203 W. FM 6 PHONE (972) 840-1506
NEVADA, TEXAS 75173 TBPELS REGISTRATION NO.: F-21608
COPYRIGHT © CARROLL CONSULTING GROUP TEXAS FIRM REGISTRATION NO.: 10007200

Table with 4 columns: JOB No., SCALE, DATE, DRAWN BY. Values: 3693-25, 1"=200', OCTOBER 17, 2025, CP

8" WATERLINE STREETMAN ROAD

THE LONDON  
INST. NO. 2022000002304  
O.P.R.R.C.T.



LARRY VC  
RALPH M 24.32

S. MUNSON ROAD

EXISTING:  
2-48" CMPS

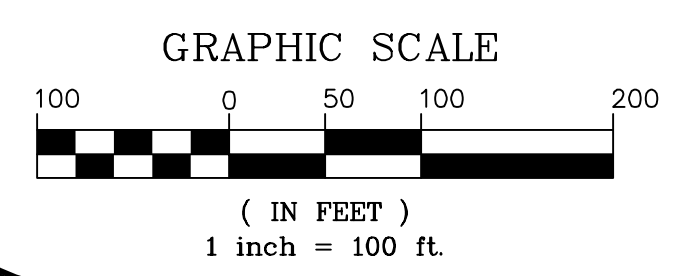
PROPOSED  
8" WATERLINE  
5' INSIDE R.O.W.

PROPOSED  
8" WATERLINE  
5' INSIDE R.O.W.

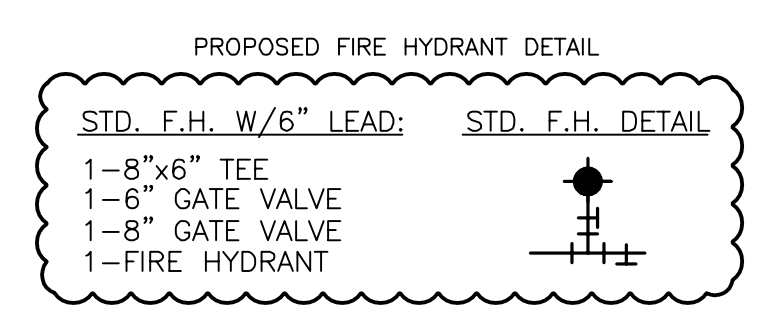
PROPOSED  
8" WATERLINE  
5' INSIDE R.O.W.

PROPOSED  
8" WATERLINE  
5' INSIDE R.O.W.

PROPOSED  
8" WATERLINE  
5' INSIDE R.O.W.



ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.  
ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.  
UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.  
ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)  
ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



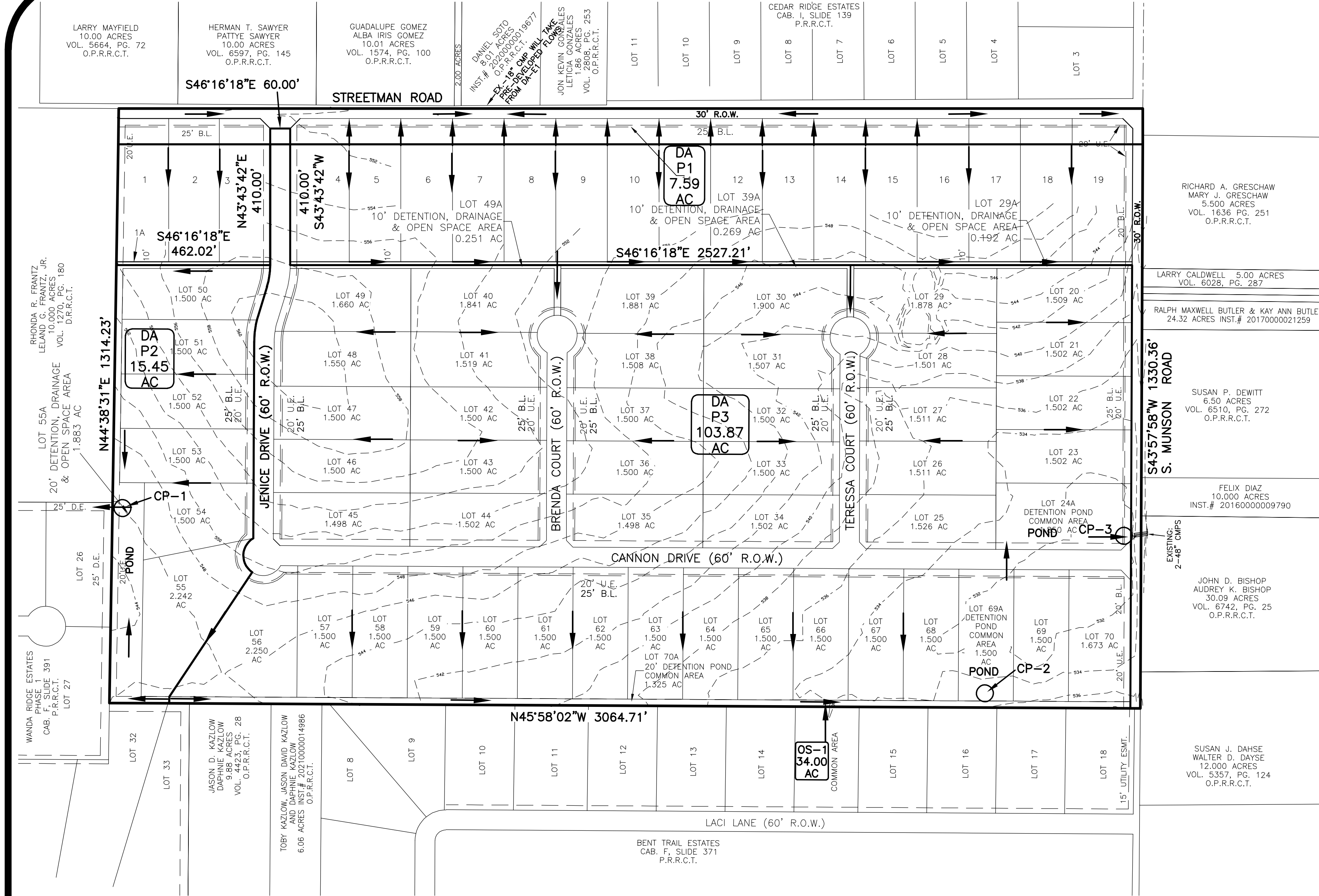
○ - PROPOSED FIRE HYDRANT

PRELIMINARY WATER PLAN			
Case No.:			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
203 W. FM 6 PHONE: (972) 840-1506 TBPELS REG NO. F-21608 NEVADA, TEXAS 75173 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE:	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=100'	CP

2

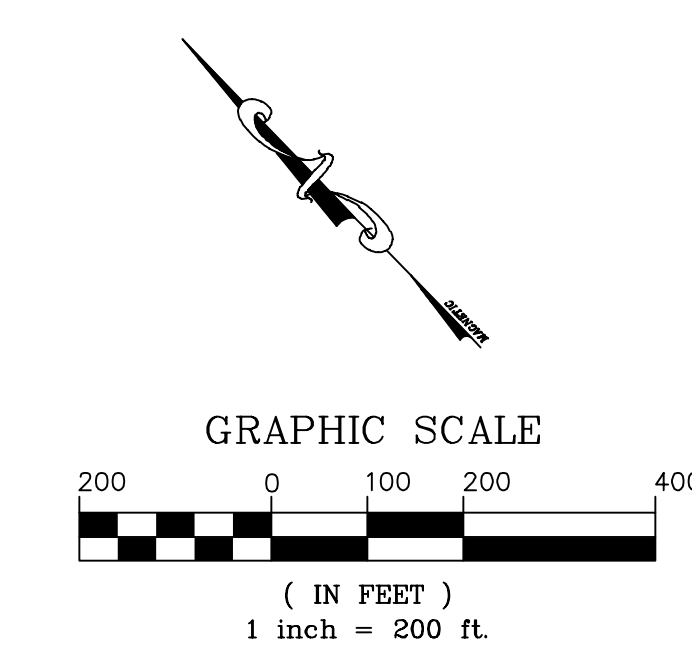


PROPOSED DRAINAGE AREAS

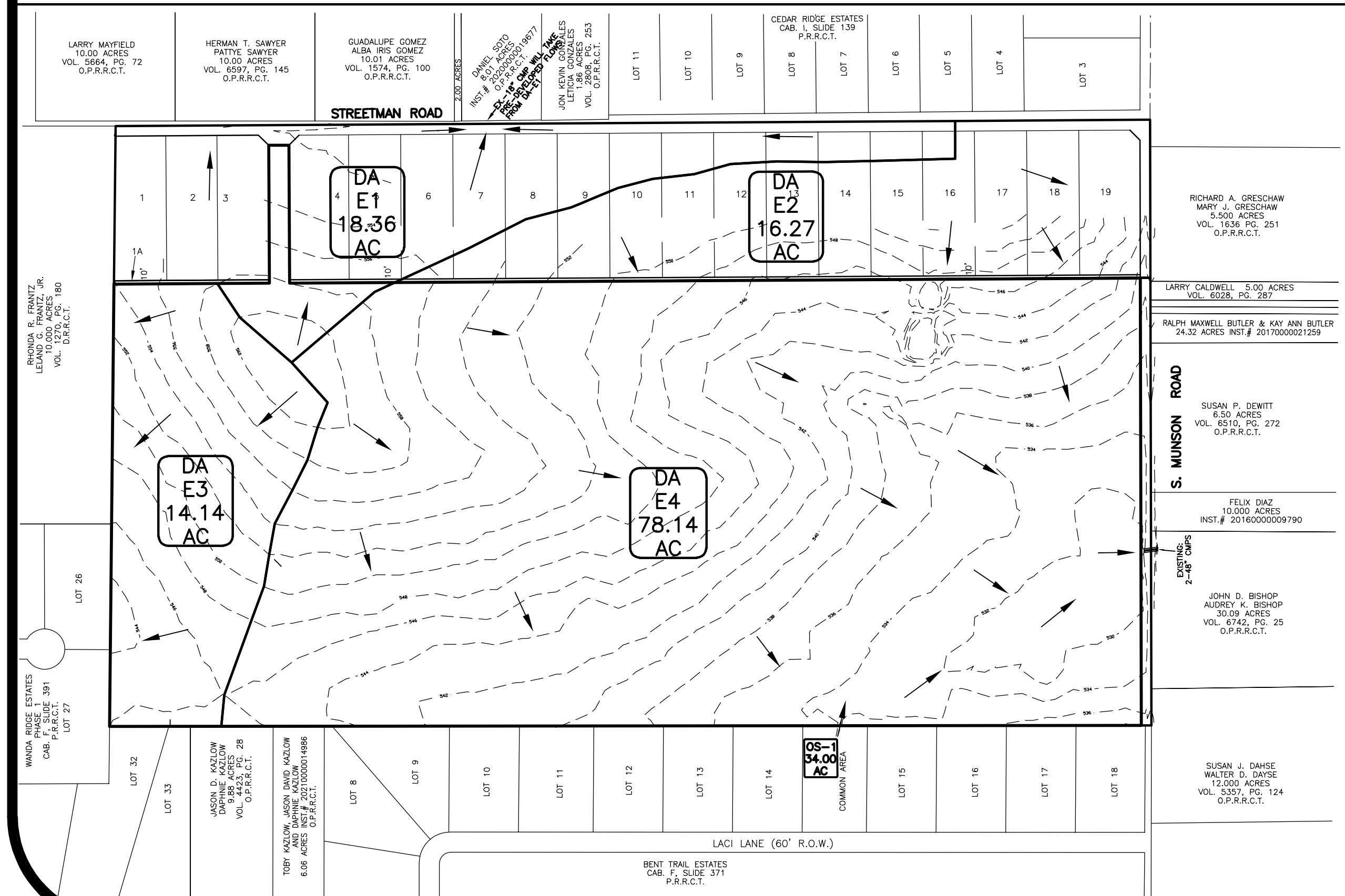


PROPOSED DRAINAGE AREAS				
Tc = 10 min.				
DA	ACRES	C	I100	Q100 cfs
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
<b>TOTALS</b>	<b>160.91</b>			<b>788.46</b>

NOTES				
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD				
DRAINS TO CP-1, POND				
DRAINS TO CP-3, POND TO 2-48" RCPS				
DRAINS TO PR-3, SWALE TO CP-2, POND				

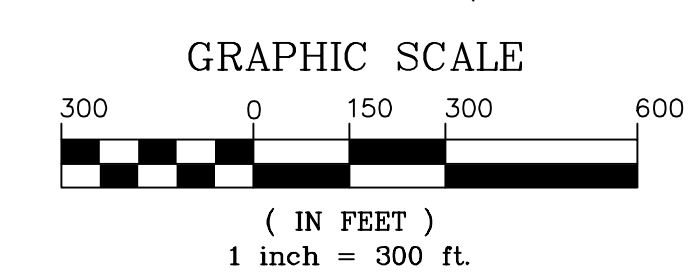


EXISTING DRAINAGE AREAS



EXISTING DRAINAGE AREAS				
Tc = 20 min.				
DA	ACRES	C	I100	Qcfs
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
<b>TOTALS</b>	<b>160.91</b>			<b>535.27</b>

NOTES				
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.				



PRELIMINARY DRAINAGE PLAN

Case No.:			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
203 W. FM 6 PHONE: (972) 840-1506		TBPELS REG NO. F-21608	
NEVADA, TEXAS 75173		TEXAS FIRM REGISTRATION NO.: 10007200	
DWG:	DATE:	SCALE:	DRAWN BY:
THE LONDON-2	OCTOBER 17, 2025	1"=200' & 300'	CP

BOUNDARY CLOSURE REPORT

THE LANDON PHASE TWO

North: 7011312.6680' East: 2639087.7930'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3064.714'

North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'

North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'

North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'

North: 7014354.8614' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'

North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'

North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2527.215'

North: 7012270.1995' East: 2640011.3746'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.364'

North: 7011312.6682' East: 2639087.7935'

Perimeter: 9578.537' Area: 4066627.24 Sq. Ft.

Error Closure: 0.0004 Course: N65° 24' 54.37"E

Error North: 0.00018 East: 0.00040

Precision 1: 23946345.000



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE:** November 11, 2025

**APPLICANT:** Alyson DiBlasi; *Discover Lakes, LLC & Discovery Lakes Phase 1, LLC*

**SUBJECT:** Z2025-066; *Amendment to Planned Development District 78 (PD-78)*

The applicant -- *Alyson DiBlasi* -- is requesting to amend Planned Development District 78 (PD-78) for the purpose of allowing *Side Entry Garages* for the *Type 'A' Lots*. Planned Development District 78 (PD-78) -- *also known as the Discovery Lakes Subdivision* -- was originally established by the City Council on August 17, 2015 by *Ordinance No. 15-24*. At the time of approval, this Planned Development District allowed 507 single-family residential lots on 305.315-acres and nine (9) acres of land dedicated for General Retail (GR) District land uses. The 507 single-family residential lots consisted of three (3) lot types: [1] 121 *Type 'A' Lots* that were a minimum size of 80' x 120' or 9,600 SF, [2] 127 *Type 'B' Lots* that were a minimum size of 70' x 110' or 7,700 SF, and [3] 259 *Type 'C' Lots* that were minimum size of 60' x 110' or 6,000 SF. On August 3, 2020, the City Council amended Planned Development District 78 (PD-78) through *Ordinance No. 20-27*. This new ordinance reduced the number of single-family residential lots from 507 to 428 (*i.e. 45 Type 'A' Lots, 177 Type 'B' Lots, and 206 Type 'C' Lots*), and changed the *Type 'A' Lots* from a minimum of 80' x 120' or 9,600 SF to 80' x 200' or 32,670 SF. Contained within both *Ordinance No. 15-24* and *Ordinance No. 20-27* was the following language pertaining to garage orientation:

Subsection (3)(c)(3)

Garage Orientation. *Garages shall be provided as stipulated by Table 2: Lot Dimensional Requirements. Garages permitted for front entry maybe oriented toward the street in a Flat Front Entry format; however, the front façade of the garage must be situated a minimum of 25 -feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. Swing, Traditional Swing or J-Swing garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the Swing configuration.*

Based on this language, the lots within the Planned Development District were permitted garage orientations in a *Flat Front Entry* and *Swing* or *J-Swing* or *Traditional Swing* configuration. This was not interpreted to incorporate *Side Entry* garage configurations at the time the ordinance was approved. Recently, the City of Rockwall adopted *Ordinance No. 25-55*, which amended the Unified Development Code (UDC) to define various types of garage orientations. With this language adopted, the applicant approached staff requesting to amend the Planned Development District to incorporate the *Side Entry* garage configuration for the larger *Type 'A' Lots*. In requesting this change, the applicant conveyed to staff that many of the custom home builders that have purchased lots in Phase 1 of the subdivision -- *which is exclusively composed of the larger Type 'A' Lots* -- have stated that they would prefer this garage configuration, and that it would provide greater variation in the façades of the homes in this phase. Based on this the applicant is proposing the following changes to the Planned Development District ordinance (*changes shown in RED*):

Excerpt from Table 2: Lot Dimensional Requirements

Garage Orientation	J-Swing, <del>or</del> Flat Front <i>or Side Entry</i>	J-Swing or Flat Front	J-Swing or Flat Front
--------------------	---	--------------------------	--------------------------

Subsection (3)(c)(3)

Garage Orientation. *Garages shall be provided as stipulated by Table 2: Lot Dimensional Requirements. Garages permitted for front entry maybe oriented toward the street in a Flat Front Entry format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. **Side Entry Swing**, Traditional Swing, or J-Swing garages are permitted to*



*have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the Swing configuration.*

These are the only changes being proposed to the Planned Development District ordinance. After reviewing the elevations of some of the proposed homes in this phase of the subdivision, staff has no objection to the applicant's request; however, this case being a zoning change, the decision remains discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

Since this case is a zoning change, staff notified all properties within Planned Development District 78 (PD-78) and within 500-feet of its boundary on October 21, 2025. This included 57 notices. In addition, staff notified the Timber Creek Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of Planned Development District 78 (PD-78). As of this memorandum, staff has received one (1) notice from a property owner within the 500-foot buffer in favor of the applicant's request.

If the Planning and Zoning Commission has any questions concerning this case, staff and the applicant will be available at the November 11, 2025 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS None

SUBDIVISION Discovery Lakes and Discovery Lakes Phase I

LOT

BLOCK

GENERAL LOCATION 316.315 Acre tract near the NE corner of SH 276 and Rochelle Road

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-78

CURRENT USE Single Family Residential /Commercial

PROPOSED ZONING Amend PD-78, ordinance no. 20-27, specifically Garages, see Exhibit A

PROPOSED USE Single Family Residential /Commercial

ACREAGE 316.315 acres

LOTS [CURRENT]

31 existing lots

LOTS [PROPOSED]

428 (as stated in PD-78)

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Discovery Lakes, LLC & Discovery Lakes Phase I, LLC

APPLICANT Alyson DiBlasi

CONTACT PERSON Alyson DiBlasi (See Exhibit B)

CONTACT PERSON Alyson DiBlasi

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alyson DiBlasi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 4,944.73 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

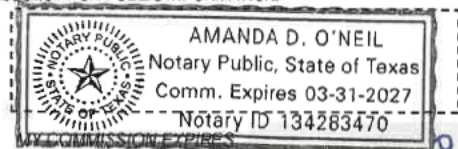
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1<sup>st</sup> DAY OF October, 2025

OWNER'S SIGNATURE

*A. DiBlasi*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Amanda D. O'Neil*



03-31-2

**LIMITED LIABILITY COMPANY  
AUTHORIZATION**

**Discovery Lakes Phase I, LLC**

The undersigned being the manager of Discovery Lakes Phase I, LLC, a Texas limited liability company (the "LLC"), hereby authorizes and appoints Alyson DiBlasi to act as an authorized representative of the LLC in connection with the sale of any of the platted lots in the Discovery Lakes Phase I, LLC, City of Rockwall, Rockwall County, Texas (the "Subdivision").

Such authorization and appointment to include, but not to be limited to, the authority to execute and deliver in the name of and on behalf of the LLC, a purchase and sale contract, together with all documents, certificates, affidavits, agreements, deeds, consents, receipts, waivers, notices, escrow funds, escrow agreements and closing statements, as an authorized representative of the LLC, in connection with the sale of any of the platted lots in the Subdivision.

The undersigned on behalf of the LLC, hereby ratifies, approves and confirms any actions taken by Alyson DiBlasi to negotiate, contract and sell any of the platted lots in the Subdivision.

EXECUTED AND DELIVERED this 5th day of MAY, 2023.

DISCOVERY LAKES PHASE I, LLC

A Texas limited liability company

By: 

Alberto Dal Cin, Manager

**Discovery Lakes, LLC**  
**Discovery Lakes Phase I, LLC**  
15400 Knoll Trail Dr.  
Ste 230  
Dallas, TX 75248

September 29, 2025

City of Rockwall  
Attn: Ryan Miller, Director of Planning and Zoning  
385 S. Goliad Street  
Rockwall, TX 75087

To Whom It May Concern:

**Re: Letter of Acknowledgement re: Amendment of PD-078**

I, Qaiser Ali Kahn, as owner of Lot 1 Block A, 1645 Canyon Lake Rd., Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. I understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,  
Qaiser Ali Kahn

Signed by:  
  
-----

**Discovery Lakes, LLC**  
**Discovery Lakes Phase I, LLC**  
15400 Knoll Trail Dr.  
Ste 230  
Dallas, TX 75248

September 29, 2025

City of Rockwall  
Attn: Ryan Miller, Director of Planning and Zoning  
385 S. Goliad Street  
Rockwall, TX 75087

To Whom It May Concern:

**Re: Letter of Acknowledgement re: Amendment of PD-078**

We, ADETOKUNBO DOUGLAS AND OSADEBAWMEN DOUGLAS, as owners of Lot 3 Block A, 1633 Canyon Lake Rd., Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. We understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,

ADETOKUNBO DOUGLAS



OSADEBAWMEN DOUGLAS



**Discovery Lakes, LLC**  
**Discovery Lakes Phase I, LLC**

15400 Knoll Trail Dr.  
Ste 230  
Dallas, TX 75248

September 29, 2025

City of Rockwall  
Attn: Ryan Miller, Director of Planning and Zoning  
385 S. Goliad Street  
Rockwall, TX 75087

To Whom It May Concern:

**Re: Letter of Acknowledgement re: Amendment of PD-078**

We, HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES, as owners of Lot 3 Block C, 1515 Twin Lakes Blvd; Lot 1 Block B, 1644 Canyon Lake Dr.; Lot 3 Block B, 4601 Bear Lake Dr.; and Lot 2 Block C, 1509 Twin Lakes Blvd, Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. We understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,

HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES,  
a Texas limited liability company

By: \_\_\_\_\_

Todd Miller, President

Date of Execution: \_\_\_\_\_

9/29/25

**Discovery Lakes, LLC**  
**Discovery Lakes Phase I, LLC**  
15400 Knoll Trail Dr.  
Ste 230  
Dallas, TX 75248

September 29, 2025

City of Rockwall  
Attn: Ryan Miller, Director of Planning and Zoning  
385 S. Goliad Street  
Rockwall, TX 75087

To Whom It May Concern:

**Re: Letter of Acknowledgement re: Amendment of PD-078**

Double Cross 276, LLC, as owners of the 9.129-acre tract of land more particularly described in Exhibit "A", do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. We understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

Sincerely,  
Double Cross 276, LLC  
a Texas limited liability company

By:   
DocuSigned by:  
60D6739447884C3...

Printed Name: Kenny Huff

Title: Mr



**Discovery Lakes, LLC**  
**Discovery Lakes Phase I, LLC**  
15400 Knoll Trail Dr.  
Ste 230  
Dallas, TX 75248

September 29, 2025

City of Rockwall  
Attn: Ryan Miller, Director of Planning and Zoning  
385 S. Goliad Street  
Rockwall, TX 75087

To Whom It May Concern:

**Re: Letter of Acknowledgement re: Amendment of PD-078**

I, David Garcia, as owner of Lot 2 Block A, 1639 Canyon Lake Rd., Rockwall County, TX, 75034, do acknowledge and do approve the requested Amendment to Zoning Ordinance, PD-078. I understand that the Amendment specifically addresses Garage Orientations for Lot Types A, 80' and larger, to allow for Side Entry Garages.

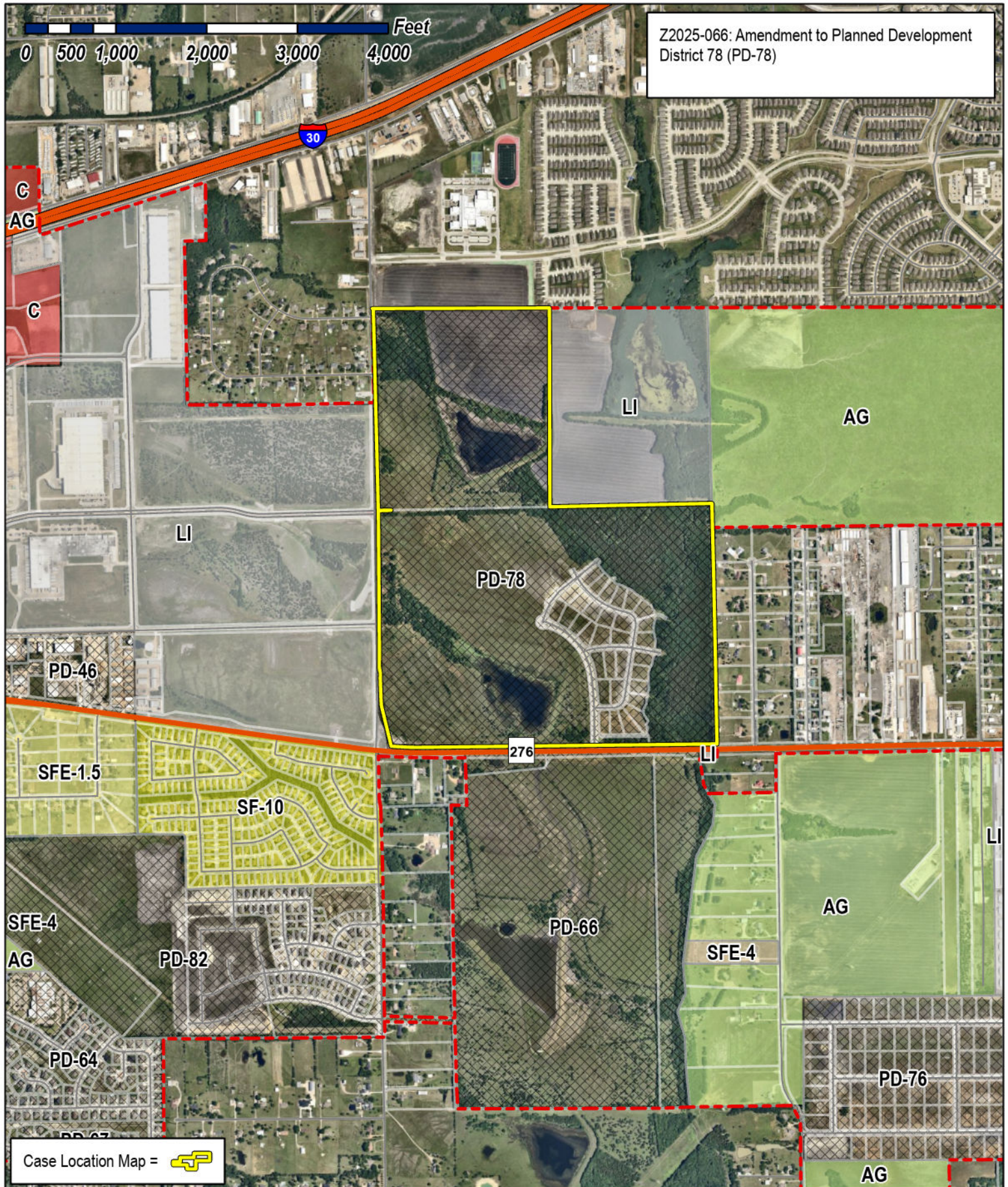
Sincerely,

David Garcia




---





Z2025-066: Amendment to Planned Development District 78 (PD-78)

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



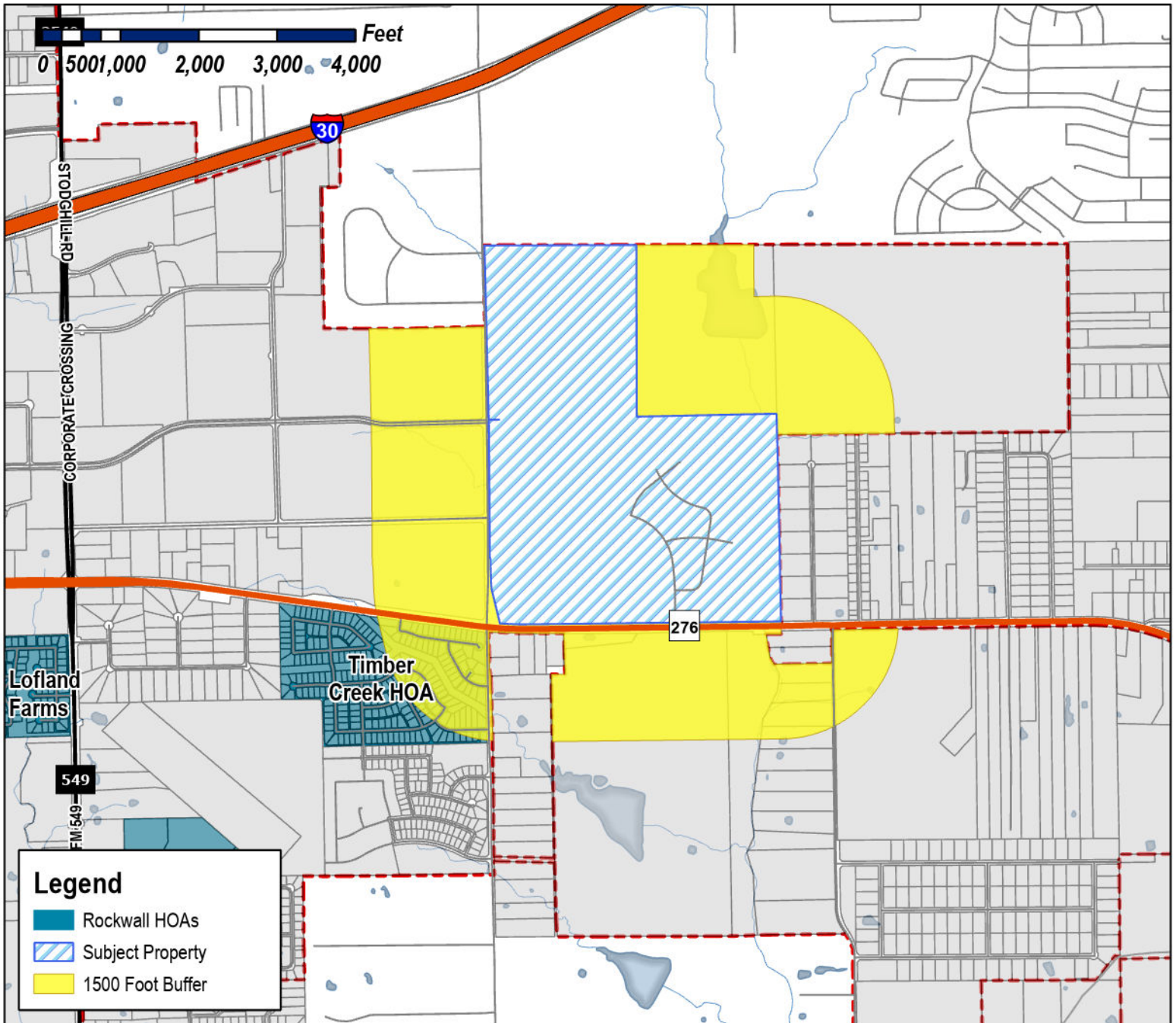




# City of Rockwall

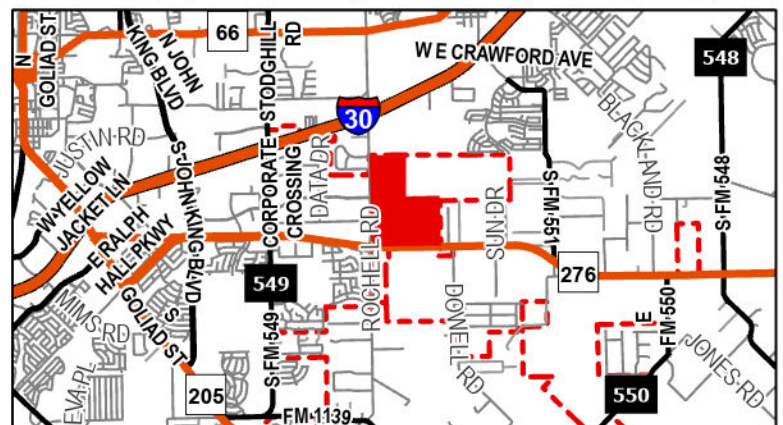
Planning & Zoning Department  
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**Case Number:** Z2025-066  
**Case Name:** Amendment to PD-78  
**Case Type:** Zoning  
**Zoning:** Planned Development District 78 (PD-78)  
**Case Address:** Discovery Lakes Subdivision

**Date Saved:** 10/13/2025  
 For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, October 22, 2025 12:38 PM  
**Cc:** Miller, Ryan; Lee, Henry; Ross, Bethany  
**Subject:** Neighborhood Notification Program [Z2025-066]  
**Attachments:** Public Notice (10.20.2025).pdf; HOA Map (10.13.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2025-066 : Amendment to PD-78**

Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a *Zoning Change* amending Planned Development District 78 (PD-78) [*Ordinance No. 20-27*] to change the *Garage Orientation* requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568

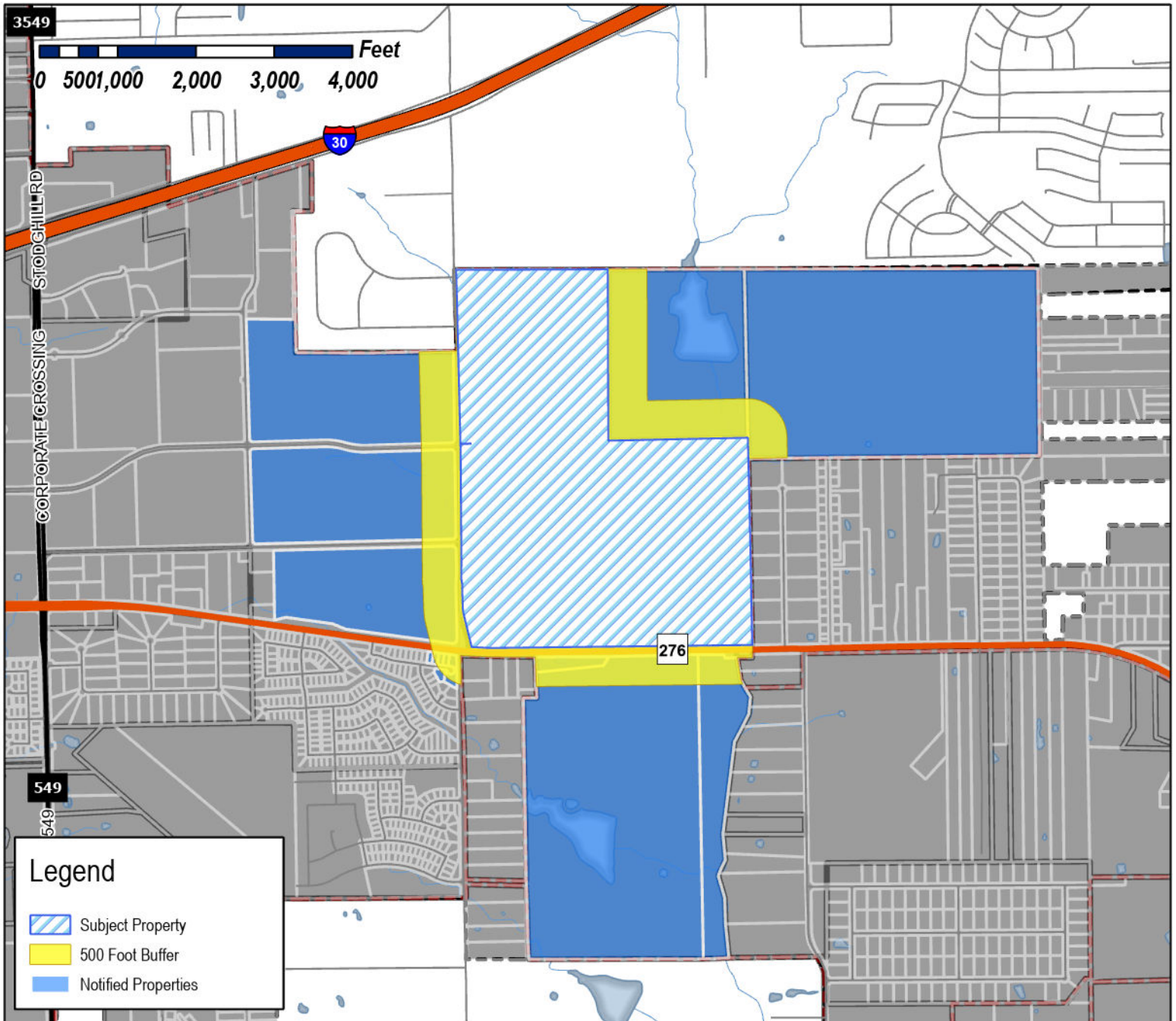




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

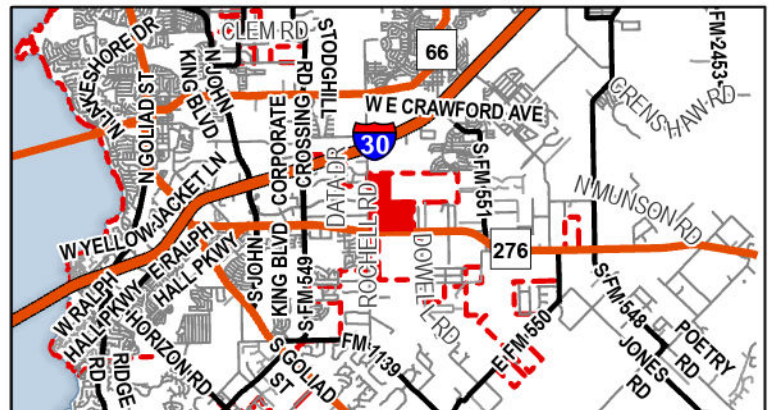
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2025-066  
**Case Name:** Amendment to PD-78  
**Case Type:** Zoning  
**Zoning:** Planned Development District 78 (PD-78) District  
**Case Address:** Discovery Lakes Subdivision

**Date Saved:** 10/13/2025

For Questions on this Case Call: (972) 771-7745



GARCIA DAVID VANN  
112 JEREMY DRIVE  
FATE, TX 75189

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

RESIDENT  
1500 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1501 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1503 TWIN LAKES BLVD  
ROCKWALL, TX 75032

RESIDENT  
1506 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1507 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1509 TWIN LAKES BLVD  
ROCKWALL, TX 75032

RESIDENT  
1512 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1513 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1515 TWIN LAKES BLVD  
ROCKWALL, TX 75032

RESIDENT  
1518 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1519 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1521 TWIN LAKES BLVD  
ROCKWALL, TX 75032

RESIDENT  
1524 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1525 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1531 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1537 SALT LAKE DR  
ROCKWALL, TX 75032

DISCOVERY LAKES PHASE I LLC  
15400 Knoll Trail Dr Ste 230  
Dallas, TX 75248

RESIDENT  
1543 SALT LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
1603 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1609 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1615 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1621 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1627 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1633 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1634 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1639 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1644 CANYON LAKE RD  
ROCKWALL, TX 75032

RESIDENT  
1645 CANYON LAKE RD  
ROCKWALL, TX 75032

SOUTH ROCKWALL HOLDINGS LP  
C/O AD VALROEM TAX DEPT  
2101 Cedar Springs Rd Ste 600  
Dallas, TX 75201

ROCKWALL FUND I LLC  
212 S Palm Ave Fl 2  
Alhambra, CA 91801

HARLAN PROPERTIES INC  
2404 Texas Dr Ste 103  
Irving, TX 75062

HARLAN PROPERTIES INC  
2404 Texas Dr Ste 103  
Irving, TX 75062

HARLAN PROPERTIES INC  
2404 Texas Dr Ste 103  
Irving, TX 75062

HORTON CAPITAL PROPERTIES LLC  
3120 SABRE DR STE 240  
SOUTHLAKE, TX 76092

HORTON CAPITAL PROPERTIES LLC  
3120 SABRE DR STE 240  
SOUTHLAKE, TX 76092

HORTON CAPITAL PROPERTIES, LLC  
3120 SABRE DR STE 240  
SOUTHLAKE, TX 76092

HORTON CAPITAL PROPERTIES LLC  
3120 SABRE DR STE 240  
SOUTHLAKE, TX 76092

PACIFIC PHOENIX TRUST OF 2013  
WALTER E & LINDA H MOELLER TRUSTEES  
3330 TERRA GRANADA DRIVE #2A  
WALNUT CREEK, CA 94595

DOUGLAS ADETOKUNBO AND OSADEBAWMEN  
3810 Harlan Dr  
Sachse, TX 75048

RESIDENT  
3884 PINEBLUFF LN  
ROCKWALL, TX 75032

RESIDENT  
4010 PINEBLUFF LN  
ROCKWALL, TX 75032

BARSOUM LINDSEY NICOLE  
4010 PINEBLUFF LN  
ROCKWALL, TX 75032

NWIGWE CHARLES & VANIECY  
4015 PINEBLUFF LN  
ROCKWALL, TX 75032

FIELDS RUTH A  
4016 PINEBLUFF LN  
ROCKWALL, TX 75032

RESIDENT  
4022 PINEBLUFF LN  
ROCKWALL, TX 75032

RESIDENT  
4030 PINEBLUFF LN  
ROCKWALL, TX 75032

TAURONE ANTHONY LEVI AND ALEXANDRIA  
MAE  
4035 PINEBLUFF LANE  
ROCKWALL, TX 75032

RESIDENT  
4601 BEAR LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
4602 BEAR LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
4607 BEAR LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
4608 BEAR LAKE DR  
ROCKWALL, TX 75032

RESIDENT  
4613 BEAR LAKE DR  
ROCKWALL, TX 75032

KAHN KAISER ALI  
5905 CHURCHILL MEADOWS BLVD  
MISSISSAUGU, ONTARIO 0

YAMASA CO LTD., A JAPANESE CORPORATION  
PO BOX 4090  
SCOTTSDALE, AZ 85261

ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-066: Amendment to PD-78**

*Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a Zoning Change amending Planned Development District 78 (PD-78) [Ordinance No. 20-27] to change the Garage Orientation requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2025-066: Amendment to PD-78**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

*Tex. Loc. Gov. Code, Sec. 211.006 (d)* If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2025-066: Amendment to PD-78

Hold a public hearing to discuss and consider a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes, Phase 1, LLC for the approval of a Zoning Change amending Planned Development District 78 (PD-78) [Ordinance No. 20-27] to change the Garage Orientation requirements for a 316.315-acre tract of land identified as: [1] Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, [2] Tract 2 of the R. K. Brisco Survey, Abstract No. 16, and [3] Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-10, Block D; and Lot 1, Block E, Discovery Lakes, Phase 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and Rochell Road, and take any action necessary.

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**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2025-066: Amendment to PD-78

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Harlan Properties, Inc.

Address: 2404 TEXAS DR., #103, IRVING, TX 75062

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.



## EXHIBIT A

Exhibit 'D'

Page 11, Table 2 shall be amended to include in Garage Orientation, **Side-Entry**, for Lot Types A

Page 12, (c) (3), **Side-Entry** has been added as follows:

(3) Garage Orientation. Garages shall be provided as stipulated by Table 2: Lot Dimensional Requirements. Garages permitted for front entry maybe oriented toward the street in a Flat Front Entry format; however, the front facade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. **Side Entry**, Swing, Traditional Swing or J-Swing garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the Swing configuration. **Side Entry garages are permitted on Lot Type A.**

**Exhibit 'D':**  
**Permitted Land Uses and Development Standards**

District Development Standards, of the Unified Development Code. In addition, all residential development shall adhere to the following standards:

- (a) **Lot Composition and Layout.** The lot layout and composition of the *Subject Property* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1* below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below; however, in no case shall the proposed development exceed 428 units.

**Table 1: Lot Composition**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%
<i>Maximum Permitted Units:</i>			428	100.00%

The allocation of single-family dwellings among lot types may deviate from *Table 1* provided that the proposed lot composition meets the following criteria:

- (1) The total number of lots does not exceed 428 units; and,
  - (2) The average lot size for the total development is not less than 9,700 SF (*i.e. total square footage of all lots/total number of lots*); and,
  - (3) Lot Type "A" shall not be decrease below 40 lots; and,
  - (4) Lot Type "B" shall not be decreased below 38% of the total 428 lots; and,
  - (5) Lot Type "C" shall not be increased beyond 55% of the total 428 lots.
- (b) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 1.40 dwelling units per gross acre of land; however, in no case should the proposed development exceed 428 units. All lots shall conform to the standards depicted in *Table 2* below and generally conform to *Exhibit 'C'* of this ordinance.

**Table 2: Lot Dimensional Requirements**

Lot Type (see Concept Plan) ▶	A	B	C
Minimum Lot Width <sup>(1)</sup> & <sup>(4)</sup> & <sup>(7)</sup>	80'	70'	60'
Minimum Lot Depth	200'	110'	110'
Minimum Lot Area	32,670 SF	7,700 SF	6,600 SF
Minimum Front Yard Setback <sup>(2)</sup> , <sup>(6)</sup> , & <sup>(8)</sup>	25'	20'	20'
Minimum Side Yard Setback	10'	5'	5'
Minimum Side Yard Setback (Adjacent to a Street) <sup>(2)</sup>	20'	15'	15'
Minimum Length of Driveway Pavement	25'	20'	20'
Maximum Height <sup>(3)</sup>	36'	36'	36'
Minimum Rear Yard Setback <sup>(4)</sup>	20'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	3,200 SF	2,250 SF	2,000 SF
Garage Orientation <sup>(5)</sup>	Side-Entry, J-Swing or Flat Front	J-Swing or Flat Front	J-Swing or Flat Front
Maximum Number of Front Entry Garages Permitted	17	58	137
Maximum Lot Coverage	65%	65%	65%

**General Notes:**

- <sup>1</sup>: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

- 4. As measured from the rear yard property line.
- 5. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.
- 6. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property that increases the Front Yard Building Setback to 20-feet; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks (Adjacent to a Street) and shall not encroach into public right-of-way [a Sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].
- 7. All lots with a *J-Swing* or *Traditional Swing* driveway require a minimum of a 65-foot lot width.
- 8. The minimum front yard setback for properties that have a *Flat Front Entry* garage format shall be 25-feet.

(c) *Building Standards.* All development shall adhere to the following building standards:

- (1) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable – to be determined by staff) shall be permitted to be used to meet up to 50% of the masonry requirement.
- (2) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch. *Type 'A'* lots may have a variable pitch to the roofs that may deviate from these specific standards when it is determined by staff to serve a particular architectural theme.
- (3) *Garage Orientation.* Garages shall be provided as stipulated by *Table 2: Lot Dimensional Requirements*. Garages permitted for front entry maybe oriented toward the street in a *Flat Front Entry* format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. *Side Entry, Swing, Traditional Swing* or *J-Swing* garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the *Swing* configuration. **Side-Entry Garages are permitted on Lot Type A.**

(ci) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see the illustration on the following page).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	80' x 200'	(1), (2), (3), (5)
B	70' x 110'	(1), (2), (3), (4)
C	60' x 110'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent

**Exhibit 'B'**

Discovery Lakes Lot Owner Information:

<b>Lot</b>	<b>Block</b>	<b>Address</b>	<b>PURCHASER</b>
1	A	1645 Canyon Lake Dr.	QAISER ALI KAHN
2	A	1639 Canyon Lake Dr.	DAVID GARCIA
3	A	1633 Canyon Lake Dr.	ADETOKUNBO DOUGLAS AND OSADEBAWMEN DOUGLAS
1	B	1644 Canyon Lake Dr.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
3	B	4601 Bear Lake Dr.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
2	C	1509 Twin Lakes Blvd.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
3	C	1515 Twin Lakes Blvd.	HORTON CAPITAL PROPERTIES, LLC DBA KINDRED HOMES
Commercial Tract		9.129-acre tract of land	DOUBLE CROSS 276, LLC

CITY OF ROCKWALL

ORDINANCE NO. 20-27

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 78 (PD-78) [*ORDINANCE NO. 15-24*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF CHANGING THE CONCEPT PLAN AND DEVELOPMENT STANDARDS FOR A 316.315-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE M. E. HAWKINS SURVEY, ABSTRACT NO. 100 AND TRACT 2 OF THE R. K. BRISCO SURVEY, ABSTRACT NO. 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Chris Cuny of Teague, Nall & Perkins on behalf of Nick DiGuseppe of Discovery Lakes, LLC for the approval of an amendment to Planned Development District 78 (PD-78) [*Ordinance No. 15-24*] for the purpose of changing the concept plan and development standards for a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 78 (PD-78) and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the Planned Development Concept Plan, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;



**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, shall be prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance, and that the *Master Parks and Open Space Plan* shall be considered for approval by the City Council following a recommendation by the *Parks and Recreation Board*.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Open Space Master Plan
  - (2) Master Plat
  - (3) PD Development Plan (*Required for Retail Areas Only*)
  - (4) PD Site Plan
  - (5) Preliminary Plat
  - (6) Final Plat
- (c) A *PD Development Plan* must be approved for the area designated on the *Planned Development Concept Plan* as *Retail* prior to submittal of a *PD Site Plan* application and/or preliminary plat application. No *Master Plat* is required for the area designated on the *Concept Plan* as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for each retail development.
- (d) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat Application* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *PD Site Plan Application* for the development.

- (f) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

**SECTION 9.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 10.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

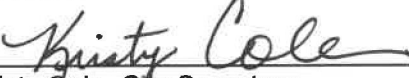
**SECTION 11.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 12.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>RD</sup> DAY OF AUGUST, 2020.**

  
\_\_\_\_\_  
Jim Pruitt, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: July 20, 2020

2<sup>nd</sup> Reading: August 3, 2020

**Exhibit 'A':**  
**Legal Description**

Field notes for a 316.315-acre (13,778,691 square foot) tract of land situated in the M. E. Hawkins Survey, Abstract No. 100, and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County, Texas, and being all of that certain called 308.52-acre tract of land described in a Special Warranty Deed to 308 ON 276, L.P., as recorded in Volume 03662, Page 00315, of the Office Public Records of Rockwall County, Texas (O.P.R.R.C.T.) with said 316.315-acre (13, 778,691 square feet) tract of land being more particularly described by metes and bounds as follows:

*BEGINNING* a railroad spike set in asphalt marking the northwest corner of said 308 on 276, L.P. tract and the common southwest corner of that certain called 21. 935 acre tract of land described as Tract One in a Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, of the Deed Records of Rockwall County, Texas (D.R.R.C.T.) , said point being in the approximate center of Rochell Road, a county road with an unspecified right-of- way (R. O. W.) width;

*THENCE* North 89 degrees 00 minutes 24 seconds East (South 89 degrees 12 minutes 02 seconds East - deed call), along the common northerly line of said 308 ON 276, L.P. tract and the common southerly line of said Tract One, passing at a distance of 30. 00 feet, a 5/8 inch iron rod set with a yellow plastic cap stamped "THE WALLACE GROUP " ( "cap ") for reference, continuing along said common line, passing at a distance of 1,799. 04-feet, a ½-inch iron rod found marking the southeast corner of said Tract One, being common with the south west corner of that certain called 59.71-acre tract of land described in a Special Warranty Deed to Fate I- 30, L.P., as recorded in Volume 03542, Page 00039, O.P.R.R.C.T., continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line of said Fate I-30, L.P. tract, a total distance of 1,966.04 feet ( 1,902 .80 feet - deed call) to a 1/ 2 inch iron rod found marking the common most northerly northeast corner of said 308 on 276, L.P. tract and the north west corner of that certain called 85.479 acre tract of land described as Tract Two in the aforementioned Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, O.R.R.C.T.;

*THENCE* South 01 degrees 59 minutes 29 seconds East (South 00 degrees 08 minutes 06 seconds West - deed call), along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Tract Two, a distance of 2,204.26-feet ( 2,166.70-feet - deed call) to a ½ inch iron rod found marking an ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Tract Two;

*THENCE* North 87 degrees 20 minutes 20 seconds East (North 89 degrees 12 minutes 02 seconds East - deed call), continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line said Tract Two, a distance of 1,691. 90 feet (1,782.53 feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common most easterly northeast corner of said 308 on 276, L.P. tract and the southeast corner of said Tract Two, from which a ½-inch iron rod found bears North 87 degrees 20 minutes 20 seconds East at 10. 49 feet, said 5/8-inch iron rod set being on the west line of that certain called 212.25-acre tract of land described in a Special Warranty Deed to South Rock wall Holdings, L.P., as recorded in Volume 03625, Page 00034, O.P.R.R.C.T.;

*THENCE* South 01 degrees 34 minutes 35 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said South Rock wall Holdings tract, a distance of 309.68-feet to a 5/8-inch iron rod set with "cap " marking the southwest corner of said South Rock wall Holdings tract, being common with the northwest corner of Lot 8, Equestrian Estates, according to the plot thereof recorded in Cabinet A, Page 19 7, of the Plot Records of Rock wall County, Texas (P.R.R.C.T.);

*THENCE* South 00 degrees 50 minutes 42 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Equestrian Estates, a distance of 2,301.71 feet (South 00 degrees 06 minutes 38 seconds West, a distance of 2,580.60 feet - overall deed call) to a 5/8 inch iron rod set with "cap " marking the common southeast corner of said 308 ON 276, L.P. tract and on ell corner of the north R.O.W. line of State Highway No. 276 (having a variable width R.O.W.);

*THENCE* South 89 degrees 29 minutes 00 seconds West (North 89 degrees 29 minutes 07 seconds West - deed call), along the common southerly line of said 308 ON 2 76, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1.66 feet a found TxDOT concrete monument, continuing along said common line for a tot al distance of 117.50-feet (115.83-feet - deed call) to a 5/8-inch iron rod set with "cap " marking the common ell corner of said 308 ON 276, L.P. tract and the most easterly southeast corner of that certain called 2.503-acre tract of land described as on Easement for Highway Purposes to the State of Texas, recorded in Volume 82, Page 583 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

*THENCE* North 00 degrees 31 minutes 03 seconds West (North 00 degrees 30 Minutes 13 seconds East - deed call), along a common interior line of said 308 on 2 76, L.P. tract and the easterly line of said Easement for Highway Purposes tract, a distance of 50.31-feet (50-feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common ell corner of said 308 ON 276, L.P. tract and the north east corner of said Easement for Highway

**Exhibit 'A':**  
*Legal Description*

Purposes tract;

*THENCE* South 89 degrees 28 minutes 57 seconds West (North 89 degrees 29 minutes 47 seconds West - deed call), along the common southerly line of said 308 on 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 543.40-feet (543.73-feet - deed call) to a 5/8-inch iron rod set with "cap " for corner;

*THENCE* South 89 degrees 13 minutes 58 seconds West (South 89 degrees 48 minutes 55 seconds West - deed call), continuing along the common southerly line of said 308 ON 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 757. 25-feet (756.93-feet - deed call) to a 5/8-inch iron rod found marking a common ell corner of said 308 ON 276, L.P. tract and the northwest corner of said Easement for Highway Purposes tract;

*THENCE* South 00 degrees 46 minutes 03 seconds East (South 00 degrees 11 minutes 05 seconds East - deed call), along a common interior line of said 308 ON 276, L.P. tract and the westerly line of said Easement for Highway Purposes tract, a distance of 90.30-feet (87.44-feet - deed call) to a 5/8-inch iron rod set with "cap " marking a common ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Easement for Highway Purposes tract, said point being on said north R.O.W. line of State Highway No. 276;

*THENCE* South 89 degrees 13 minutes 57 seconds West (North 89 degrees 53 minutes 27 seconds West - deed call), along the common southerly line of said 308 ON 276, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1,667.76-feet a 5/8-inch iron rod set with "cap " for reference, continuing along said common line for a total distance of 1,917.07-feet (1,917.34-feet - deed call) to a found TxDOT concrete monument, marking the transitional R.O.W. line from said north R.O.W. line of State Highway No. 276 to the east R.O.W. line of Springer Lane, on 80-foot wide R.O.W., (formerly F.M. No. 1143), said point being the beginning of a non-tangent curve to the right, with the radius point being situated North 21 degrees 40 minutes 52 seconds East, a distance of 533.69-feet;

*THENCE* Northerly along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the right, through a central angle of 67 degrees 33 minutes 20 seconds (48 degrees 33 minutes 57 seconds - deed call), having a radius of 533. 69-feet (613.69-feet - deed call), a tangent distance of 356.97-feet, a chord bearing North 34 degrees 32 minutes 28 seconds West (North 40 degrees 41 minutes 57 seconds West - deed call), at 593.43-feet, and an arc distance of 629.26-feet (520.18-feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve;

*THENCE* North 00 degrees 53 minutes 56 seconds West (North 00 degrees 43 minutes 17 seconds West - deed call), continuing along the common westerly line of said 308 on 276, L.P. tract and said east R.O.W. line of Springer Lane, a distance of 294.21-feet (430.56-feet - deed call) to an axle found for the beginning of a non-tangent curve to the left , with the radius point being situated South 89 degrees 08 minutes 07 seconds West, a distance of 612.96-feet;

*THENCE* Northerly continuing along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the left, through a central angle of 17 degrees 26 minutes 00 seconds (12 degrees 25 minutes 52 seconds - deed call), having a radius of 612.96-feet (613.69-feet - deed call), a tangent distance of 93.98 feet, a chord bearing North 09 degrees 34 minutes 53 seconds West at 185.78-feet, and an arc distance of 186.50-feet (133.15 feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve, said point marking the transition from said east R.O.W. line of Springer Lane to the approximate center of the aforementioned Rochell Road;

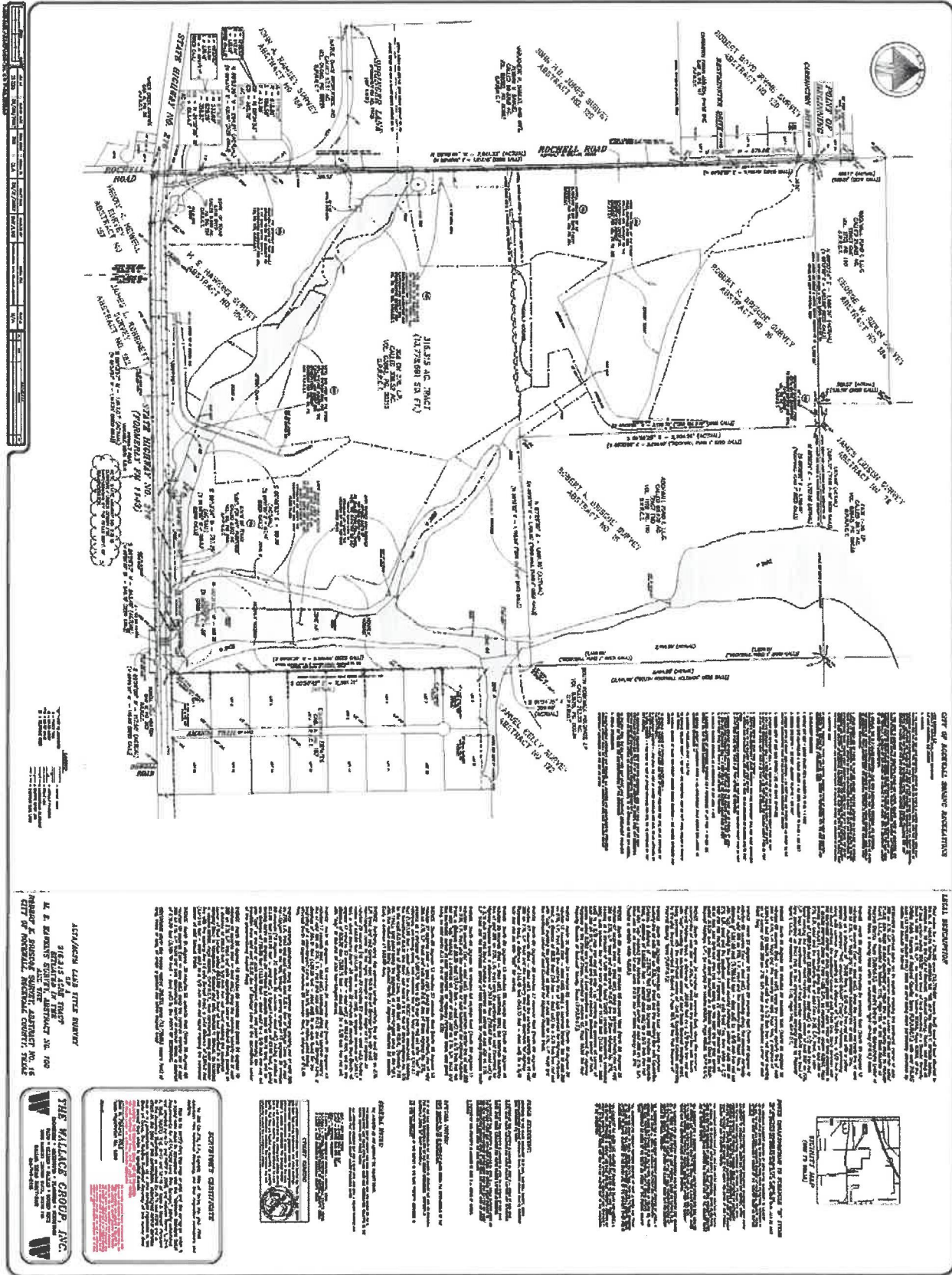
*THENCE* North 00 degrees 49 minutes 05 seconds West (North 00 degrees 10 minutes 49 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, passing at a distance of 386.53-feet a ½-inch iron rod found marking the southeast corner of that certain called 60.3368-acre tract of land described in a Cash Warranty Deed to Varughese P. Samuel and wife, Remoni V. Samuel, as recorded in Volume 02002, Page 00062, O.P.R.R.C.T., then continuing along said common line with the easterly line of said Samuel tract, a total distance of 2,841.3-feet (1,613.15-feet - deed call) to a ½-inch iron rod found marking the northeast corner of said Samuel tract;

*THENCE* North 01 degrees 38 minutes 55 seconds West (North 00 degrees 08 minutes 06 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, a distance of 976.29-feet (2,166.70-feet - deed call) to the *POINT OF BEGINNING*.

*CONTAINING* within the metes recited 316.315-acres (13,778,692 square feet) of land, more or less, of which a portion lies within Rochell Road.



Exhibit 'B':  
Survey



STATION/CH. LAST TIME SURVEY  
 916315 10 1989  
 M. & B. BROWN & SONS, SURVEY, ABSTRACT NO. 100  
 CITY OF ROCKWALL, HENRIETTA COUNTY, TEXAS

**THE WALLACE GROUP, INC.**  
 10000 WEST 10TH STREET, SUITE 100  
 DALLAS, TEXAS 75243  
 (214) 343-1111

**EXHIBIT 'B' CERTIFICATE**  
 This is to certify that the survey shown on this page was prepared by the Surveyor General of the State of Texas, and that the same is a true and correct copy of the original survey on file in the office of the Surveyor General of the State of Texas.

**ROCKWALL CITY**  
 This is to certify that the survey shown on this page was prepared by the Surveyor General of the State of Texas, and that the same is a true and correct copy of the original survey on file in the office of the Surveyor General of the State of Texas.

**ADDITIONAL NOTES**  
 The survey shown on this page was prepared by the Surveyor General of the State of Texas, and that the same is a true and correct copy of the original survey on file in the office of the Surveyor General of the State of Texas.

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**Exhibit 'C':  
Area Map**



**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

**(A) PURPOSE**

The purpose of this PD Zoning change is to allow for an area located at the southeastern portion of the property to be developed as a high-end custom home phase, with minimum one-acre single family residential lots. It is the desire of the owner to retain all the other non-conflicting entitlements on the property per the existing PD requirements and development standards with exceptions that will be noted throughout this document. The developer recognizes and accepts that the acreage utilized for this proposed custom phase will result in a loss of development density, from 507 single family homes to approximately 428 Single family homes. The owner requests the right and flexibility to replace smaller lot types with the 0.75-acre lot type throughout future phases of the development, without the need to rezone the Planned Development District as long as the general intent and layout of the approved revised concept plan is followed and the total number of lots does not increase.

To facilitate review of the proposed PD revisions, sections and development standards that are to be revised as a part of this re-zoning request will be highlighted in yellow throughout the document. All proposed revisions have been incorporated into the attached revised concept plan.

The Discovery Lakes Subdivision is located at the northeast corner of the intersection of SH-276 and Rochell Road. The *Subject Property* is a short walk or bike ride from the Rockwall Technology Park. The Discovery Lakes Subdivision will be a master planned residential neighborhood that will incorporate two (2) lakes, several acres of open space and ~2.6-miles of hiking/jogging/biking trails. The master plan calls for 428 single-family homes. There will be several view corridors strategically placed within the subdivision along with *front loaded* lots to provide for the enjoyment of the open space. A boulevard with 85-feet of right-of-way will connect SH-276 and be constructed up to the first round-about of the one (1) acre lots. The boulevard will have a 14-foot landscape median and a 25-foot travel lane on each side of the street. The residential streets will be 29-feet back-to-back, with a 10½-foot parkway on each side for a total of 50-feet of right-of-way. A *Community Center* with a pool will be provided to add increased amenity for the subdivision. Commencement of the Community Center and pool will take place at or before the final platting of the 201st residential lot or with the addition of additional *Type 'A'* lots. Additionally, the proposed development will incorporate nine (9) acres of commercial space that will be located at the hard corner of SH-276 and Rochell Road. This area will allow for neighborhood service types of uses and eating establishments. A maximum of one (1) hotel planned to service the needs of the subdivision and the Rockwall Technology Park. A 55-acre area adjacent to the northern lake will be dedicated as public parkland to serve Park District No. 31. The Discovery Lakes Subdivision will be a benefit to the community, allowing citizens of all ages the opportunity to live, work, and play in a connected master planned community.

**(B) GENERAL REQUIREMENTS**

***Development Standards.***

- (1) *Permitted Uses.* The following uses are permitted on the *Subject Property* in accordance with the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.
  - (a) *Residential Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of



## Exhibit 'D':

### Permitted Land Uses and Development Standards

the Unified Development Code (UDC), shall be allowed for areas designated as *residential* on the *Concept Plan*.

(b) *Non-Residential*. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), shall be allowed for areas designated as *commercial* on the *Concept Plan*; however, the following conditions shall apply:

(i) The following additional uses shall be permitted as *by-right* uses on the *Subject Property*:

- Hotel, Hotel (*Full Service*) or Motel (*With a Maximum Height of Four [4] Stories*)<sup>1</sup>
- Restaurant (*with Drive-Through or Drive-In*)<sup>2</sup>
- Retail Store (*with more than two [2] Gasoline Dispensers*)

*Notes:*

<sup>1</sup>: A maximum of one (1) hotel/motel shall be permitted with this Planned Development District. The height requirement of four (4) stories is permitted to exceed 36-feet, but in no case shall exceed 60-feet.

<sup>2</sup>: A maximum of three (3) restaurants (despite the size of the restaurant) shall be permitted within this Planned Development District.

(ii) The following uses shall be prohibited on the *Subject Property*:

- Convent or Monastery
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary or Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Gun Club, Skeet or Target Range (*Indoor*)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply /Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service
- Mining and Extraction (Sand, Gravel, Oil and/or Other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) *Non-Residential Development*. The area designated as *commercial* on the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance shall be designed to be pedestrian-oriented, easily accessible, and integrated into the general design scheme of the adjacent neighborhood. This can be accomplished by removing the traditional barriers utilized to separate commercial and residential developments (*e.g. screening walls*) and incorporating landscape buffers/elements (*e.g. greenspace, parkways, and etcetera*) and urban design elements (*e.g. pathways, pergolas, and etcetera*) that can create compatibility with the adjacent single-family neighborhood. To better achieve this goal and in addition to the requirements of Section 4.1, *General Commercial District Standards*, and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development*



**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

*Standards*, of the Unified Development Code, all commercial development shall be required to adhere to the following supplemental standards:

(a) *Retail Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within the retail development shall be a minimum of four (4) caliper inches in size and all *Accent/Oriental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.

(b) *Retail Landscape Buffers*. All landscape and plantings located within the buffers shall be maintained by the property owner.

(1) *Landscape Buffer (Residential Adjacency)*. Where residential and retail uses share a direct adjacency, a minimum of a 30-foot landscape buffer shall be provided by the retail property adjacent to the residential property. This area shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the adjacency. This area should also incorporate pedestrian-oriented design elements (*e.g. pathways*) that allow access between the two (2) uses. Shrubby utilized in this area shall have a minimum height of 30-inches and a maximum height of 48-inches. Additionally, trees should be incorporated in this area to break up the façades of any commercial buildings.

(2) *Landscape Buffer and Sidewalks (SH-276)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. All buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code.

(3) *Landscape Buffer (Rochell Road Retail)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

(c) *Sidewalks*.

i) *Sidewalk Adjacent to Rochell Road and SH-276*. The developer shall be responsible for the construction of a five (5) foot sidewalk that meanders through the required 20-foot landscape buffer adjacent to Rochell Road and SH-276.

(3) *Residential Development Standards*. Except as modified by these *Development Standards*, the residential uses depicted in *Exhibit 'C'* of this ordinance shall be subject to the development standards for a Single Family 10 (SF-10) District as stipulated by Section 3.1, *General Residential District Standards*; Section 3.4, *Single-Family Residential (SF-10) District*; and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V,

**Exhibit 'D':**

*Permitted Land Uses and Development Standards*

*District Development Standards*, of the Unified Development Code. In addition, all residential development shall adhere to the following standards:

- (a) *Lot Composition and Layout*. The lot layout and composition of the *Subject Property* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1* below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below; however, in no case shall the proposed development exceed 428 units.

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%
<i>Maximum Permitted Units:</i>			428	100.00%

The allocation of single-family dwellings among lot types may deviate from *Table 1* provided that the proposed lot composition meets the following criteria:

- (1) The total number of lots does not exceed 428 units; and,
- (2) The average lot size for the total development is not less than 9,700 SF (*i.e. total square footage of all lots/total number of lots*); and,
- (3) Lot Type "A" shall not be decrease below 40 lots; and,
- (4) Lot Type "B" shall not be decreased below 38% of the total 428 lots; and,
- (5) Lot Type "C" shall not be increased beyond 55% of the total 428 lots.

- (b) *Density and Dimensional Requirements*. The maximum permissible density for the *Subject Property* shall not exceed 1.40 dwelling units per gross acre of land; however, in no case should the proposed development exceed 428 units. All lots shall conform to the standards depicted in *Table 2* below and generally conform to *Exhibit 'C'* of this ordinance.

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1) &amp; (5) &amp; (7)</sup>	80'	70'	60'
<i>Minimum Lot Depth</i>	200'	110'	110'
<i>Minimum Lot Area</i>	32,670 SF	7,700 SF	6,600 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (6), &amp; (8)</sup>	25'	20'	20'
<i>Minimum Side Yard Setback</i>	10'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2)</sup>	20'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	25'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	20'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,200 SF	2,250 SF	2,000 SF
<i>Garage Orientation</i> <sup>(6)</sup>	J-Swing or Flat Front	J-Swing or Flat Front	J-Swing or Flat Front
<i>Maximum Number of Front Entry Garages Permitted</i>	17	58	137
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

- 4. As measured from the rear yard property line.
- 5. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.
- 6. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property that increases the Front Yard Building Setback to 20-feet; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks (Adjacent to a Street) and shall not encroach into public right-of-way [a Sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].
- 7. All lots with a *J-Swing* or *Traditional Swing* driveway require a minimum of a 65-foot lot width.
- 8. The minimum front yard setback for properties that have a *Flat Front Entry* garage format shall be 25-feet.

(c) *Building Standards.* All development shall adhere to the following building standards:

- (1) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 50% of the masonry requirement.
- (2) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch. *Type 'A'* lots may have a variable pitch to the roofs that may deviate from these specific standards when it is determined by staff to serve a particular architectural theme.
- (3) *Garage Orientation.* Garages shall be provided as stipulated by *Table 2: Lot Dimensional Requirements*. Garages permitted for front entry maybe oriented toward the street in a *Flat Front Entry* format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. *Swing, Traditional Swing* or *J-Swing* garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the *Swing* configuration.

(d) *Anti-Monotony Restrictions.* The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see the illustration on the following page).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	80' x 200'	(1), (2), (3), (5)
B	70' x 110'	(1), (2), (3), (4)
C	60' x 110'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent

**Exhibit 'D':**

*Permitted Land Uses and Development Standards*

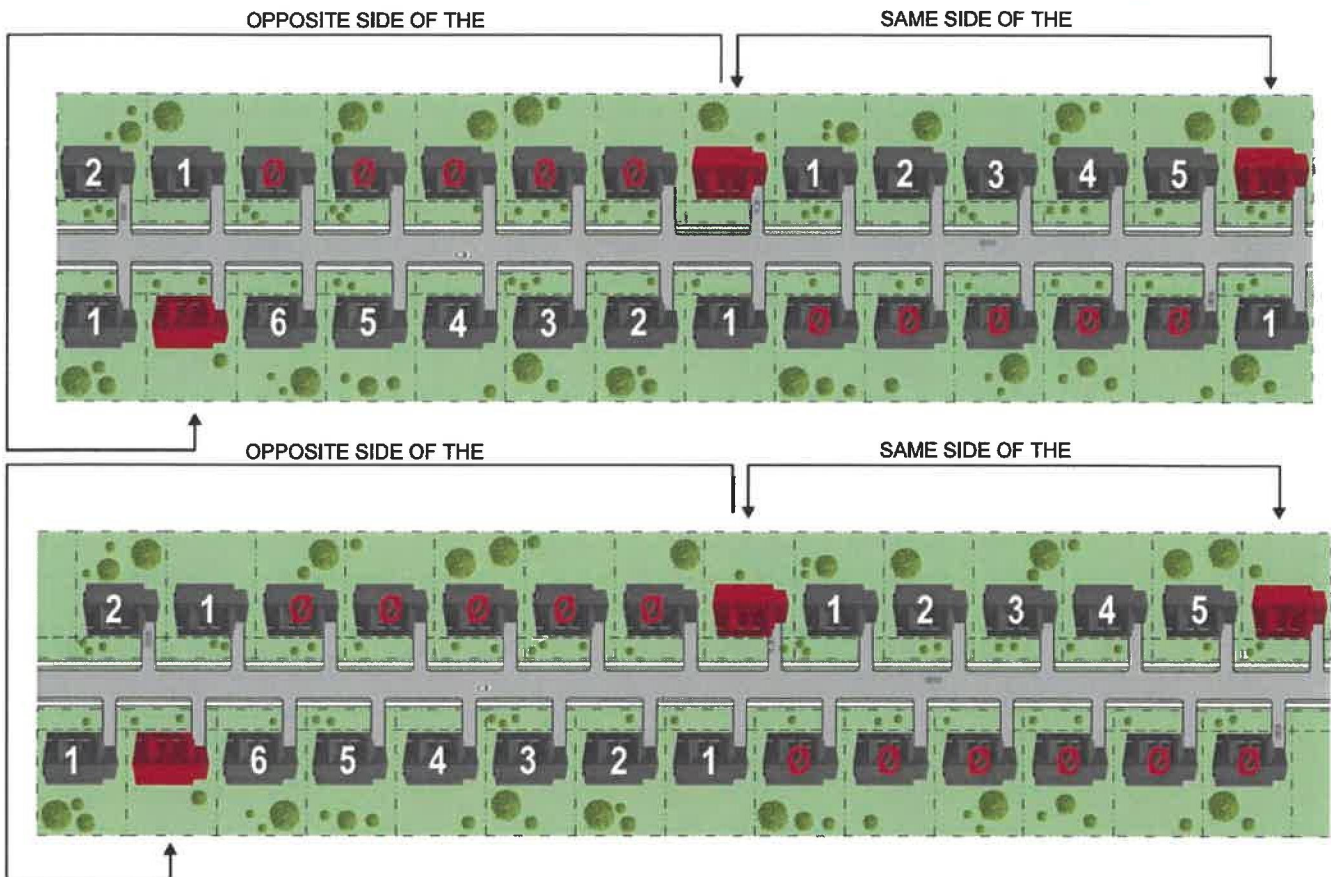
- property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on SH-276 or Rochelle Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Permitted Encroachment Type and Layout
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
  - (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
  - (5) *Type 'A'* lots may use slate, imitation slate, tile, concrete tile, imitation tile, standing seam metal, or other high-end type roof materials.

*Continued on Next Page...*



**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

Illustration 1: Anti-Monotony Exhibit



(e) *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- (1) *Wood Fences.* All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

- (2) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of eight (8) feet in height.
  - (3) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of eight (8) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (4) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) *Landscape and Hardscape Standards*.
- (1) *Residential Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within the residential development shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.
  - (2) *Single Family Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO) all single-family lots shall conform to the following:
    - i) *Interior Lots*. All interior lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard, and two (2) additional trees of the same caliper inch shall be planted in the side yard facing the street for corner lots.

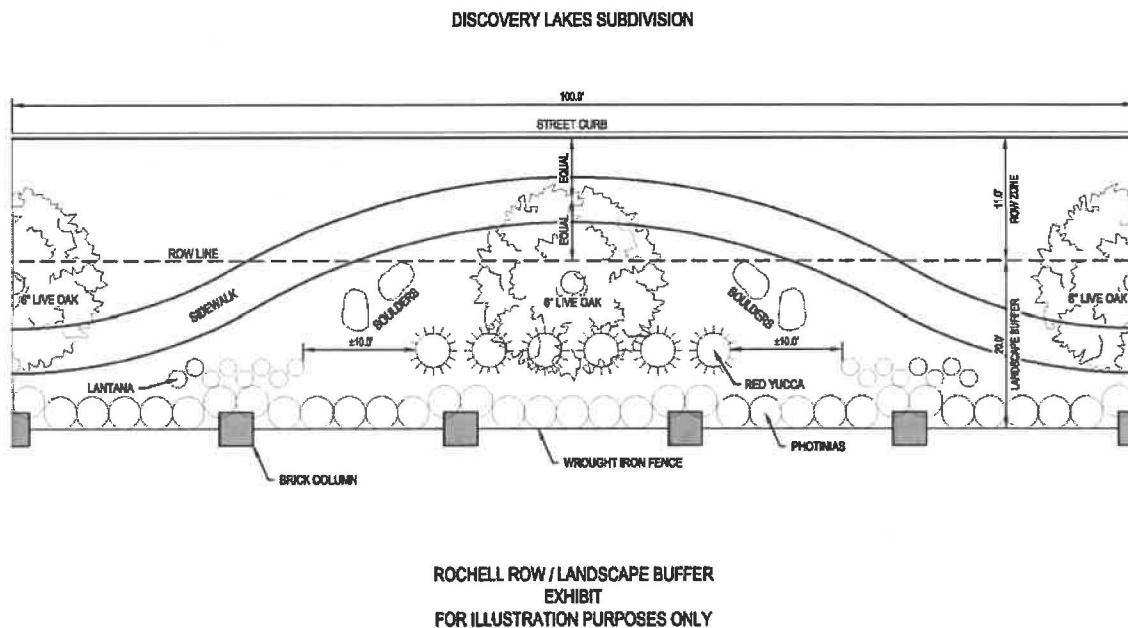
*Note: For the purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.*
    - ii) *Corner Lots*. All corner lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard of an interior lot.
  - (3) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
    - (a) *Landscape Buffer and Sidewalks (Discovery Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of Discovery Boulevard, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

maximum height of 48-inches. In addition, at least one (1) canopy tree shall be planted per 30-feet of linear frontage.

- (b) *Landscape Buffer (Rochell Road)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The landscape buffer along Rochell Road shall general conform to the following illustration [*i.e. Illustration 3*].

*Illustration 2: Landscape Buffer along Rochell Road.*



- (c) *Landscape Buffer (SH-276)*. A minimum of a 25-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. In addition, all buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (*i.e. minimum four [4] inch caliper trees required*).
- (4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

landscape architect and shall be maintained by the Homeowner's Association (HOA).

- (5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- (g) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (h) *Sidewalks*.
- i) *Internal Sidewalks*. All sidewalks adjacent to an interior residential street shall begin 5½-feet from the back of curb and be five (5) feet in overall width.
- ii) *Sidewalks Adjacent to Rochell Road and Discovery Boulevard*. All sidewalks adjacent Rochell Road and Discovery Boulevard shall begin two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (i) *Open Space*. The development shall consist of a minimum of 20% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. Existing floodplain shall be counted at a rate of ½-acre for every acre provided (*e.g., 10-acres of floodplain would count as 5-acres of open space*). The Homeowner's Association (HOA) shall maintain all open space areas.
- (j) *Temporary On-Site Sanitary Sewer (OSSF)*. On-Site Sanitary Sewer (OSSF) systems shall only be allowed on *Type 'A'* lots that contain a minimum of 32,670 SF. OSSF's shall be designed by a State of Texas registered Professional Engineer, and each design shall specify an aerobic type system with drip (*underground*) irrigation system. All systems shall meet the minimum standards of the Texas Commission on Environmental Quality (TCEQ) and each installed system shall be inspected by a third-party licensed inspector and be paid for by the developer. Operation and maintenance of each individual OSSF shall be the responsibility of the property owner and the City will not assume any responsibility to the proper design, installation, operation, and maintenance of the system. In addition to the installation of the OSSF's for *Type 'A'* lots, each constructed home must provide a secondary connection that will allow the resident to disconnect and abandon the OSSF and connect to the future -- *developer provided* -- sanitary sewer system when it is made available. The *Developer*, during the development/construction of any phase of the subdivision, will be responsible for constructing the required sanitary sewer infrastructure (*i.e. mains and laterals*) as required by the City's Master Wastewater Plan. The *Developer* shall be responsible for escrowing the required impact fees for all lots utilizing an OSSF. A *Facilities Agreement* addressing how this money will be escrowed will be required to be drafted prior to the *Developer* submitting a preliminary plat with the City of Rockwall. This *Facilities Agreement* and the preliminary plat can be considered concurrently by the City Council; however, an approved, signed, and executed *Facilities Agreement* shall be a condition of approval of the preliminary plat. In addition, the *Developer* will be required to provide an appropriate disclosure statement regarding the obligation to connect to the City's wastewater system and any additional perceived costs to the



**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

homeowner associated with this connection in all real-estate contracts between the developer, homebuilder, and homeowner.

- (k) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
  - (l) *Community Center.* A site plan, landscape plan and building elevations shall be required for the proposed *Community Center* and shall be subject to site plan approval by the Planning and Zoning Commission prior to construction. The community center shall commence construction prior to the platting of the 201st residential lot, unless additional *Type 'A'* lots -- *above and beyond what is shown on the Concept Plan contained in Exhibit 'C' of this ordinance* -- are requested; in which case, the developer shall commence construction of the community center as part of the phase that proposes the additional *Type 'A'* lots.
  - (m) *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.
- (4) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (5) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 78 (PD-78) [ORDINANCE NO. 20-27] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF CHANGING THE DEVELOPMENT STANDARDS FOR A 316.315-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE M. E. HAWKINS SURVEY, ABSTRACT NO. 100 AND TRACT 2 OF THE R. K. BRISCO SURVEY, ABSTRACT NO. 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Alyson DiBlasi of Discovery Lakes, LLC and Discovery Lakes Phase 1, LLC for the approval of an amendment to Planned Development District 78 (PD-78) [Ordinance No. 20-27] for the purpose of changing development standards for a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 78 (PD-78) [Ordinance No. 20-27] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the Planned Development Concept Plan, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the

*Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, shall be prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance, and that the *Master Parks and Open Space Plan* shall be considered for approval by the City Council following a recommendation by the *Parks and Recreation Board*.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Open Space Master Plan
  - (2) Master Plat
  - (3) PD Development Plan (*Required for Retail Areas Only*)
  - (4) PD Site Plan
  - (5) Preliminary Plat
  - (6) Final Plat
- (c) A *PD Development Plan* must be approved for the area designated on the *Planned Development Concept Plan* as *Retail* prior to submittal of a *PD Site Plan* application and/or preliminary plat application. No *Master Plat* is required for the area designated on the *Concept Plan* as *Retail*. A traffic impact analysis for the retail tract shall be submitted with the *PD Development Plan* to determine the extent and timing of any recommended facilities and/or improvements to the surrounding roadway network. The traffic impact analysis may be updated with each *PD Site Plan* for each retail development.
- (d) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat Application* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *PD Site Plan Application* for the development.
- (f) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

**SECTION 9.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 10.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 11.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 12.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

2<sup>nd</sup> Reading: December 1, 2025



**Exhibit 'A':**  
**Legal Description**

Field notes for a 316.315-acre (13,778,691 square foot) tract of land situated in the M. E. Hawkins Survey, Abstract No. 100, and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County, Texas, and being all of that certain called 308.52-acre tract of land described in a Special Warranty Deed to 308 ON 276, L.P., as recorded in Volume 03662, Page 00315, of the Office Public Records of Rockwall County, Texas (O.P.R.R.C.T.) with said 316.315-acre (13, 778,691 square feet) tract of land being more particularly described by metes and bounds as follows:

*BEGINNING* a railroad spike set in asphalt marking the northwest corner of said 308 on 276, L.P. tract and the common southwest corner of that certain called 21. 935 acre tract of land described as Tract One in a Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, of the Deed Records of Rockwall County, Texas (D.R.R.C.T.) , said point being in the approximate center of Rochell Road, a county road with an unspecified right-of- way (R. O. W.) width;

*THENCE* North 89 degrees 00 minutes 24 seconds East (South 89 degrees 12 minutes 02 seconds East - deed call), along the common northerly line of said 308 ON 276, L.P. tract and the common southerly line of said Tract One, passing at a distance of 30. 00 feet, a 5/8 inch iron rod set with a yellow plastic cap stamped "THE WALLACE GROUP " ( "cap " ) for reference, continuing along said common line, passing at a distance of 1,799. 04-feet, a ½-inch iron rod found marking the southeast corner of said Tract One, being common with the south west corner of that certain called 59.71-acre tract of land described in a Special Warranty Deed to Fate I- 30, L.P., as recorded in Volume 03542, Page 00039, O.P.R.R.C.T., continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line of said Fate I-30, L.P. tract, a total distance of 1,966.04 feet ( 1,902 .80 feet - deed call) to a 1/ 2 inch iron rod found marking the common most northerly northeast corner of said 308 on 276, L.P. tract and the north west corner of that certain coiled 85.479 acre tract of land described as Tract Two in the aforementioned Warranty Deed to Rockwall Fund I, L.L.C., as recorded in Volume 1 110, Page 190, O.R.R.C.T.;

*THENCE* South 01 degrees 59 minutes 29 seconds East (South 00 degrees 08 minutes 06 seconds West - deed call), along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Tract Two, a distance of 2,204.26-feet ( 2,166.70-feet - deed call) to a ½ inch iron rod found marking an ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Tract Two;

*THENCE* North 87 degrees 20 minutes 20 seconds East (North 89 degrees 12 minutes 02 seconds East - deed call), continuing along the common northerly line of said 308 on 276, L.P. tract and the southerly line said Tract Two, a distance of 1,691. 90 feet (1,782.53 feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common most easterly northeast corner of said 308 on 276, L.P. tract and the southeast corner of said Tract Two, from which a ½-inch iron rod found bears North 87 degrees 20 minutes 20 seconds East at 10. 49 feet, said 5/8-inch iron rod set being on the west line of that certain called 212.25-acre tract of land described in a Special Warranty Deed to South Rock wall Holdings, L.P., as recorded in Volume 03625, Page 00034, O.P.R.R.C.T.;

*THENCE* South 01 degrees 34 minutes 35 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said South Rock wall Holdings tract, a distance of 309.68-feet to a 5/8-inch iron rod set with "cap " marking the southwest corner of said South Rock wall Holdings tract, being common with the northwest corner of Lot 8, Equestrian Estates, according to the plot thereof recorded in Cabinet A, Page 19 7, of the Plot Records of Rock wall County, Texas (P.R.R.C.T.);

*THENCE* South 00 degrees 50 minutes 42 seconds East, along the common easterly line of said 308 ON 276, L.P. tract and the westerly line said Equestrian Estates, a distance of 2,301.71 feet (South 00 degrees 06 minutes 38 seconds West, a distance of 2,580.60 feet - overall deed call) to a 5/8 inch iron rod set with "cap " marking the common southeast corner of said 308 ON 276, L.P. tract and on ell corner of the north R.O.W. line of State Highway No. 276 (having a variable width R.O.W.);

*THENCE* South 89 degrees 29 minutes 00 seconds West (North 89 degrees 29 minutes 07 seconds West - deed call), along the common southerly line of said 308 ON 2 76, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1.66 feet a found TxDOT concrete monument, continuing along said common line for a tot al distance of 117.50-feet (115.83-feet - deed call) to a 5/8-inch iron rod set with "cap " marking the common ell corner of said 308 ON 276, L.P. tract and the most easterly southeast corner of that certain called 2.503-acre tract of land described as on Easement for Highway Purposes to the State of Texas, recorded in Volume 82, Page 583 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

*THENCE* North 00 degrees 31 minutes 03 seconds West (North 00 degrees 30 Minutes 13 seconds East - deed call), along a common interior line of said 308 on 2 76, L.P. tract and the easterly line of said Easement for Highway Purposes tract, a distance of 50.31-feet (50-feet - deed call) to a 5/8-inch iron rod set with "cap" marking the common ell corner of said 308 ON 276, L.P. tract and the north east corner of said Easement for Highway

**Exhibit 'A':**  
**Legal Description**

Purposes tract;

*THENCE* South 89 degrees 28 minutes 57 seconds West (North 89 degrees 29 minutes 47 seconds West - deed call), along the common southerly line of said 308 on 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 543.40-feet (543.73-feet - deed call) to a 5/8-inch iron rod set with "cap" for corner;

*THENCE* South 89 degrees 13 minutes 58 seconds West (South 89 degrees 48 minutes 55 seconds West - deed call), continuing along the common southerly line of said 308 ON 276, L.P. tract and the northerly line of said Easement for Highway Purposes tract, a distance of 757.25-feet (756.93-feet - deed call) to a 5/8-inch iron rod found marking a common ell corner of said 308 ON 276, L.P. tract and the northwest corner of said Easement for Highway Purposes tract;

*THENCE* South 00 degrees 46 minutes 03 seconds East (South 00 degrees 11 minutes 05 seconds East - deed call), along a common interior line of said 308 ON 276, L.P. tract and the westerly line of said Easement for Highway Purposes tract, a distance of 90.30-feet (87.44-feet - deed call) to a 5/8-inch iron rod set with "cap" marking a common ell corner of said 308 ON 276, L.P. tract and the southwest corner of said Easement for Highway Purposes tract, said point being on said north R.O.W. line of State Highway No. 276;

*THENCE* South 89 degrees 13 minutes 57 seconds West (North 89 degrees 53 minutes 27 seconds West - deed call), along the common southerly line of said 308 ON 276, L.P. tract and said north R.O.W. line of State Highway No. 276, passing at a distance of 1,667.76-feet a 5/8-inch iron rod set with "cap" for reference, continuing along said common line for a total distance of 1,917.07-feet (1,917.34-feet - deed call) to a found TxDOT concrete monument, marking the transitional R.O.W. line from said north R.O.W. line of State Highway No. 276 to the east R.O.W. line of Springer Lane, on 80-foot wide R.O.W., (formerly F.M. No. 1143), said point being the beginning of a non-tangent curve to the right, with the radius point being situated North 21 degrees 40 minutes 52 seconds East, a distance of 533.69-feet;

*THENCE* Northerly along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the right, through a central angle of 67 degrees 33 minutes 20 seconds (48 degrees 33 minutes 57 seconds - deed call), having a radius of 533.69-feet (613.69-feet - deed call), a tangent distance of 356.97-feet, a chord bearing North 34 degrees 32 minutes 28 seconds West (North 40 degrees 41 minutes 57 seconds West - deed call), at 593.43-feet, and an arc distance of 629.26-feet (520.18-feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve;

*THENCE* North 00 degrees 53 minutes 56 seconds West (North 00 degrees 43 minutes 17 seconds West - deed call), continuing along the common westerly line of said 308 on 276, L.P. tract and said east R.O.W. line of Springer Lane, a distance of 294.21-feet (430.56-feet - deed call) to an axle found for the beginning of a non-tangent curve to the left, with the radius point being situated South 89 degrees 08 minutes 07 seconds West, a distance of 612.96-feet;

*THENCE* Northerly continuing along the common curving westerly line of said 308 ON 276, L.P. tract and said curving east R.O.W. line of Springer Lane, with said non-tangent curve to the left, through a central angle of 17 degrees 26 minutes 00 seconds (12 degrees 25 minutes 52 seconds - deed call), having a radius of 612.96-feet (613.69-feet - deed call), a tangent distance of 93.98 feet, a chord bearing North 09 degrees 34 minutes 53 seconds West at 185.78-feet, and an arc distance of 186.50-feet (133.15 feet - deed call) to a 5/8-inch iron rod set with "cap" at the end of said non-tangent curve, said point marking the transition from said east R.O.W. line of Springer Lane to the approximate center of the aforementioned Rochell Road;

*THENCE* North 00 degrees 49 minutes 05 seconds West (North 00 degrees 10 minutes 49 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, passing at a distance of 386.53-feet a 1/2-inch iron rod found marking the southeast corner of that certain called 60.3368-acre tract of land described in a Cash Warranty Deed to Varughese P. Samuel and wife, Remoni V. Samuel, as recorded in Volume 02002, Page 00062, O.P.R.R.C.T., then continuing along said common line with the easterly line of said Samuel tract, a total distance of 2,841.3-feet (1,613.15-feet - deed call) to a 1/2-inch iron rod found marking the northeast corner of said Samuel tract;

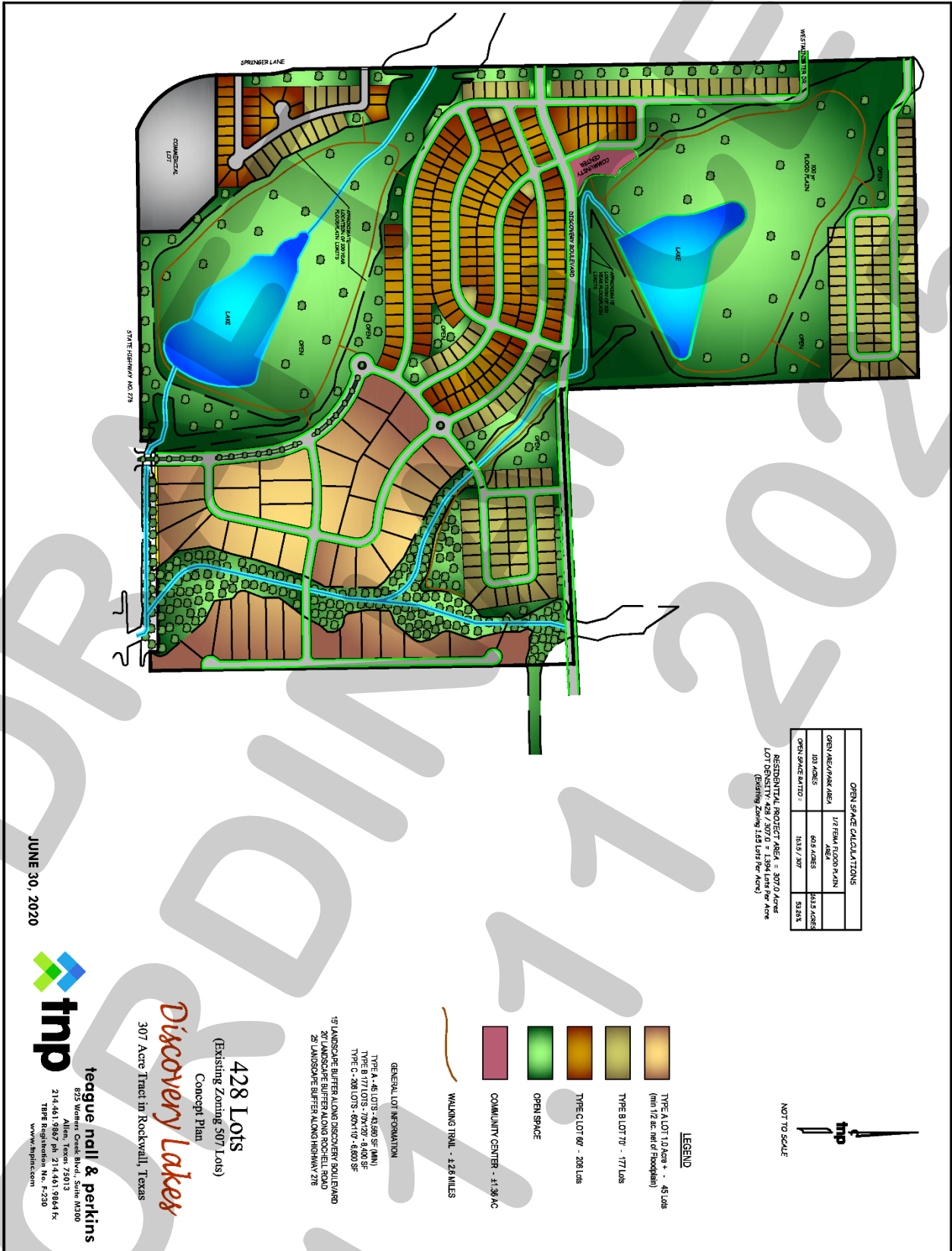
*THENCE* North 01 degrees 38 minutes 55 seconds West (North 00 degrees 08 minutes 06 seconds East - deed call), along the common westerly line of said 308 ON 276, L.P. tract and said approximate center of Rochell Road, a distance of 976.29-feet (2,166.70-feet - deed call) to the *POINT OF BEGINNING*.

*CONTAINING* within the metes recited 316.315-acres (13,778,692 square feet) of land, more or less, of which a portion lies within Rochell Road.





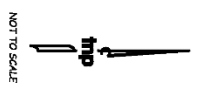
# Exhibit 'C': Area Map



**OPEN SPACE CALCULATIONS**

OPEN SPACE/PARK AREA	1/2 FEMM FLOOD PLAIN AREA	
109 ACRES	60.8 ACRES	
OPEN SPACE RATIO =	15.5 / 297	53.2%
		53.2%

**RESIDENTIAL PROJECT AREA = 307.0 Acres**  
**LOT DENSITY = 428 / 307.0 = 1.394 Lots Per Acre**  
 (Including Springs 153.597 of Acre)



NOT TO SCALE

- LEGEND**
- TYPE A LOT 1.0 Acre + - 45 Lots (min 1/2 ac. net of floodplain)
  - TYPE B LOT 70' - 77 Lots
  - TYPE C LOT 60' - 208 Lots
  - OPEN SPACE
  - COMMUNITY CENTER - 1.39 AC

WALKING TRAIL - 1.28 MILES

**GENERAL LOT INFORMATION**

- TYPE A - 46 LOTS - 43,800 SF (MIN)
- TYPE B - 777 LOTS - 770'x20' - 8,400 SF
- TYPE C - 208 LOTS - 60'x110' - 6,600 SF

15' LANDSCAPE BUFFER ALONG DISCOVERY BOULEVARD  
 30' LANDSCAPE BUFFER ALONG ROCKWELL ROAD  
 25' LANDSCAPE BUFFER ALONG HIGHWAY 278

**428 Lots**  
 (Existing Zoning 507 Lots)  
 Concept Plan  
 Discovery Lakes  
 307 Acre Tract in Rockwall, Texas

**teague nail & perkins**  
 825 Westwood Blvd., Suite 1000  
 Rockwall, TX 75087  
 214.461.9887 or 214.461.9844 fx  
 T898 Registration No. F-220  
 www.tnpinc.com

JUNE 30, 2020



**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

**(A) PURPOSE**

The purpose of this PD Zoning change is to allow for an area located at the southeastern portion of the property to be developed as a high-end custom home phase, with minimum one-acre single family residential lots. It is the desire of the owner to retain all the other non-conflicting entitlements on the property per the existing PD requirements and development standards with exceptions that will be noted throughout this document. The developer recognizes and accepts that the acreage utilized for this proposed custom phase will result in a loss of development density, from 507 single family homes to approximately 428 Single family homes. The owner requests the right and flexibility to replace smaller lot types with the 0.75-acre lot type throughout future phases of the development, without the need to rezone the Planned Development District as long as the general intent and layout of the approved revised concept plan is followed and the total number of lots does not increase.

To facilitate review of the proposed PD revisions, sections and development standards that are to be revised as a part of this re-zoning request will be highlighted in yellow throughout the document. All proposed revisions have been incorporated into the attached revised concept plan.

The Discovery Lakes Subdivision is located at the northeast corner of the intersection of SH-276 and Rochell Road. The *Subject Property* is a short walk or bike ride from the Rockwall Technology Park. The Discovery Lakes Subdivision will be a master planned residential neighborhood that will incorporate two (2) lakes, several acres of open space and ~2.6-miles of hiking/jogging/biking trails. The master plan calls for 428 single-family homes. There will be several view corridors strategically placed within the subdivision along with *front loaded* lots to provide for the enjoyment of the open space. A boulevard with 85-feet of right-of-way will connect SH-276 and be constructed up to the first round-about of the one (1) acre lots. The boulevard will have a 14-foot landscape median and a 25-foot travel lane on each side of the street. The residential streets will be 29-feet back-to-back, with a 10½-foot parkway on each side for a total of 50-feet of right-of-way. A *Community Center* with a pool will be provided to add increased amenity for the subdivision. Commencement of the Community Center and pool will take place at or before the final platting of the 201st residential lot or with the addition of additional *Type 'A'* lots. Additionally, the proposed development will incorporate nine (9) acres of commercial space that will be located at the hard corner of SH-276 and Rochell Road. This area will allow for neighborhood service types of uses and eating establishments. A maximum of one (1) hotel planned to service the needs of the subdivision and the Rockwall Technology Park. A 55-acre area adjacent to the northern lake will be dedicated as public parkland to serve Park District No. 31. The Discovery Lakes Subdivision will be a benefit to the community, allowing citizens of all ages the opportunity to live, work, and play in a connected master planned community.

**(B) GENERAL REQUIREMENTS**

***Development Standards.***

(1) *Permitted Uses.* The following uses are permitted on the *Subject Property* in accordance with the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.

(a) *Residential Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

the Unified Development Code (UDC), shall be allowed for areas designated as *residential* on the *Concept Plan*.

(b) *Non-Residential*. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), shall be allowed for areas designated as *commercial* on the *Concept Plan*; however, the following conditions shall apply:

(i) The following additional uses shall be permitted as *by-right* uses on the *Subject Property*:

- Hotel, Hotel (*Full Service*) or Motel (*With a Maximum Height of Four [4] Stories*) <sup>1</sup>
- Restaurant (*with Drive-Through or Drive-In*) <sup>2</sup>
- Retail Store (*with more than two [2] Gasoline Dispensers*)

*Notes:*

<sup>1</sup>: A maximum of one (1) hotel/motel shall be permitted with this Planned Development District. The height requirement of four (4) stories is permitted to exceed 36-feet, but in no case shall exceed 60-feet.

<sup>2</sup>: A maximum of three (3) restaurants (despite the size of the restaurant) shall be permitted within this Planned Development District.

(ii) The following uses shall be prohibited on the *Subject Property*:

- Convent or Monastery
- Hotel, Residence
- Cemetery/Mausoleum
- Mortuary of Funeral Chapel
- Social Service Provider
- Billiard Parlor or Pool Hall
- Carnival, Circus, or Amusement Ride
- Commercial Amusement/Recreation (*Outside*)
- Gun Club, Skeet or Target Range (*Indoor*)
- Astrologer, Hypnotist, or Psychic Art and Science
- Garden Supply /Plant Nursery
- Night Club, Discotheque, or Dance Hall
- Secondhand Dealer
- Car Wash, Self Service
- Mining and Extraction (Sand, Gravel, Oil and/or Other)
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) *Non-Residential Development*. The area designated as *commercial* on the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance shall be designed to be pedestrian-oriented, easily accessible, and integrated into the general design scheme of the adjacent neighborhood. This can be accomplished by removing the traditional barriers utilized to separate commercial and residential developments (e.g. *screening walls*) and incorporating landscape buffers/elements (e.g. *greenspace, parkways, and etcetera*) and urban design elements (e.g. *pathways, pergolas, and etcetera*) that can create compatibility with the adjacent single-family neighborhood. To better achieve this goal and in addition to the requirements of Section 4.1, *General Commercial District Standards*, and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development*

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

*Standards*, of the Unified Development Code, all commercial development shall be required to adhere to the following supplemental standards:

(a) *Retail Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within the retail development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.

(b) *Retail Landscape Buffers*. All landscape and plantings located within the buffers shall be maintained by the property owner.

(1) *Landscape Buffer (Residential Adjacency)*. Where residential and retail uses share a direct adjacency, a minimum of a 30-foot landscape buffer shall be provided by the retail property adjacent to the residential property. This area shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the adjacency. This area should also incorporate pedestrian-oriented design elements (e.g. *pathways*) that allow access between the two (2) uses. Shrubby utilized in this area shall have a minimum height of 30-inches and a maximum height of 48-inches. Additionally, trees should be incorporated in this area to break up the façades of any commercial buildings.

(2) *Landscape Buffer and Sidewalks (SH-276)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. All buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code.

(3) *Landscape Buffer (Rochell Road Retail)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

(c) *Sidewalks*.

i) *Sidewalk Adjacent to Rochell Road and SH-276*. The developer shall be responsible for the construction of a five (5) foot sidewalk that meanders through the required 20-foot landscape buffer adjacent to Rochell Road and SH-276.

(3) *Residential Development Standards*. Except as modified by these *Development Standards*, the residential uses depicted in *Exhibit 'C'* of this ordinance shall be subject to the development standards for a Single Family 10 (SF-10) District as stipulated by Section 3.1, *General Residential District Standards*; Section 3.4, *Single-Family Residential (SF-10) District*; and Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V,

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

District Development Standards, of the Unified Development Code. In addition, all residential development shall adhere to the following standards:

- (a) *Lot Composition and Layout.* The lot layout and composition of the *Subject Property* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1* below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below; however, in no case shall the proposed development exceed 428 units.

**Table 1: Lot Composition**

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%
<i>Maximum Permitted Units:</i>			428	100.00%

The allocation of single-family dwellings among lot types may deviate from *Table 1* provided that the proposed lot composition meets the following criteria:

- (1) The total number of lots does not exceed 428 units; and,
- (2) The average lot size for the total development is not less than 9,700 SF (*i.e. total square footage of all lots/total number of lots*); and,
- (3) *Lot Type "A"* shall not be decrease below 40 lots; and,
- (4) *Lot Type "B"* shall not be decreased below 38% of the total 428 lots; and,
- (5) *Lot Type "C"* shall not be increased beyond 55% of the total 428 lots.

- (b) *Density and Dimensional Requirements.* The maximum permissible density for the *Subject Property* shall not exceed 1.40 dwelling units per gross acre of land; however, in no case should the proposed development exceed 428 units. All lots shall conform to the standards depicted in *Table 2* below and generally conform to *Exhibit 'C'* of this ordinance.

**Table 2: Lot Dimensional Requirements**

<i>Lot Type (see Concept Plan) ▶</i>	<b>A</b>	<b>B</b>	<b>C</b>
<i>Minimum Lot Width (1) &amp; (5) &amp; (7)</i>	80'	70'	60'
<i>Minimum Lot Depth</i>	200'	110'	110'
<i>Minimum Lot Area</i>	32,670 SF	7,700 SF	6,600 SF
<i>Minimum Front Yard Setback (2), (6), &amp; (8)</i>	25'	20'	20'
<i>Minimum Side Yard Setback</i>	10'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street) (2)</i>	20'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	25'	20'	20'
<i>Maximum Height (3)</i>	36'	36'	36'
<i>Minimum Rear Yard Setback (4)</i>	20'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,200 SF	2,250 SF	2,000 SF
<i>Garage Orientation (8)</i>	<i>J-Swing, Flat Front or Side Entry</i>	<i>J-Swing or Flat Front</i>	<i>J-Swing or Flat Front</i>
<i>Maximum Number of Front Entry Garages Permitted</i>	17	58	137
<i>Maximum Lot Coverage</i>	65%	65%	65%

**General Notes:**

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-



**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

family home.

4. As measured from the rear yard property line.
5. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.
6. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property that increases the Front Yard Building Setback to 20-feet; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks (Adjacent to a Street) and shall not encroach into public right-of-way [a Sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].
7. All lots with a *J-Swing* or *Traditional Swing* driveway require a minimum of a 65-foot lot width.
8. The minimum front yard setback for properties that have a *Flat Front Entry* garage format shall be 25-feet.

(c) **Building Standards.** All development shall adhere to the following building standards:

- (1) **Masonry Requirement.** The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) shall be permitted to be used to meet up to 50% of the masonry requirement.
- (2) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch. *Type 'A'* lots may have a variable pitch to the roofs that may deviate from these specific standards when it is determined by staff to serve a particular architectural theme.
- (3) **Garage Orientation.** Garages shall be provided as stipulated by *Table 2: Lot Dimensional Requirements*. Garages permitted for front entry maybe oriented toward the street in a *Flat Front Entry* format; however, the front façade of the garage must be situated a minimum of 25-feet off the front property line. All front entry garages shall incorporate an architectural element or feature separating the individual garage openings. *Side Entry, Traditional Swing, or J-Swing* garages are permitted to have a second single garage door facing the street as long as it is behind the width of the double garage door situated in the *Swing* configuration.

(d) **Anti-Monotony Restrictions.** The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (*for spacing requirements see the illustration on the following page*).

**Table 3: Anti-Monotony Matrix**

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	80' x 200'	(1), (2), (3), (5)
B	70' x 110'	(1), (2), (3), (4)
C	60' x 110'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

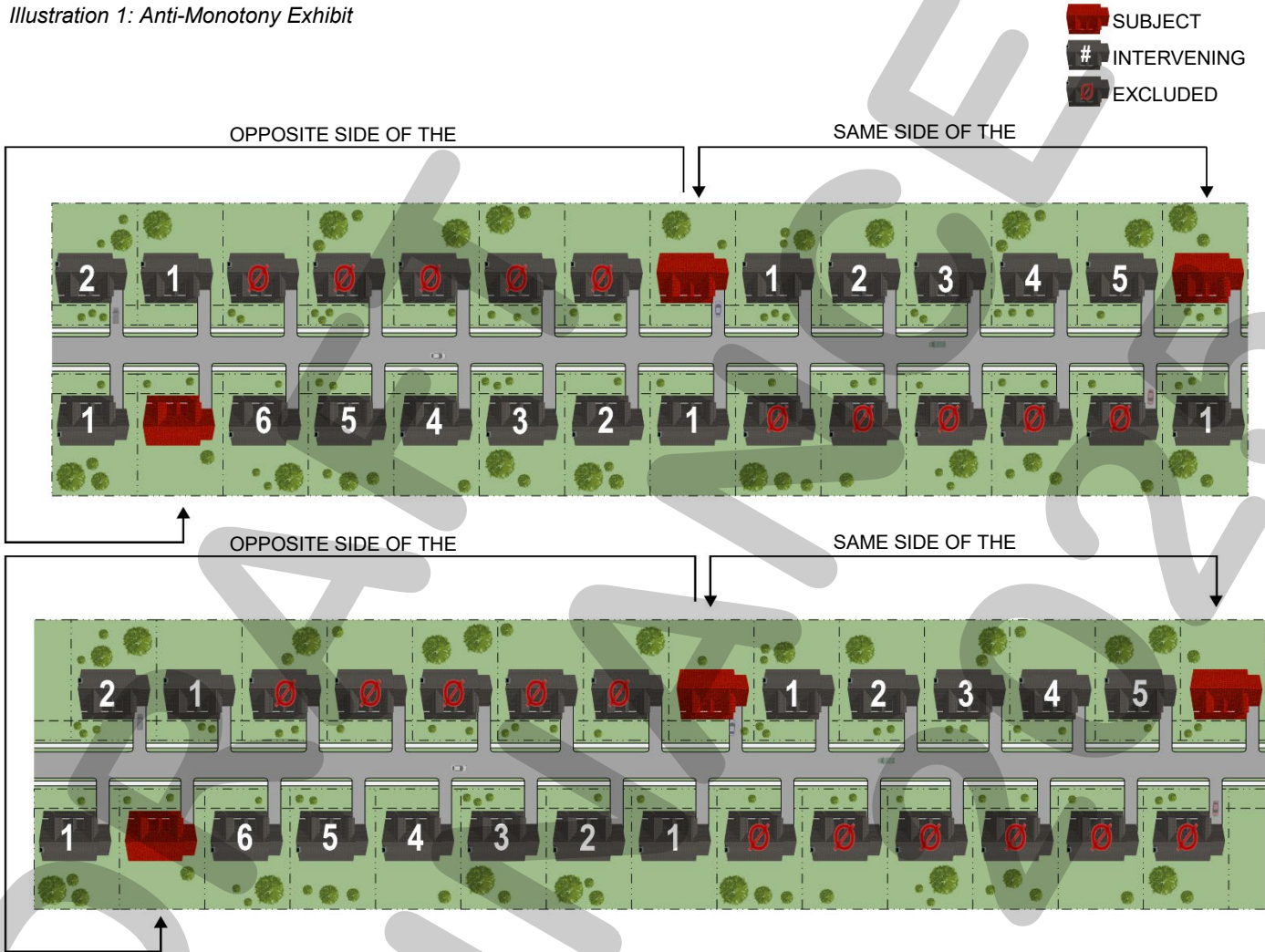
property and six (6) intervening homes of differing materials on the opposite side of the street.

- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on SH-276 or Rochelle Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - (a) Number of Stories
  - (b) Permitted Encroachment Type and Layout
  - (c) Roof Type and Layout
  - (d) Articulation of the Front Façade
- (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
- (5) *Type 'A'* lots may use slate, imitation slate, tile, concrete tile, imitation tile, standing seam metal, or other high-end type roof materials.

*Continued on Next Page...*

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

Illustration 1: Anti-Monotony Exhibit



(e) *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

(1) *Wood Fences.* All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

- (2) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of eight (8) feet in height.
- (3) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of eight (8) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (4) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(f) *Landscape and Hardscape Standards.*

- (1) *Residential Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within the residential development shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless otherwise provided within this document.

- (2) *Single Family Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO) all single-family lots shall conform to the following:

- i) *Interior Lots*. All interior lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard, and two (2) additional trees of the same caliper inch shall be planted in the side yard facing the street for corner lots.

*Note: For the purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.*

- ii) *Corner Lots*. All corner lots shall include a minimum of two (2) trees with a diameter at breast height (dbh) [*i.e. the diameter in inches of a tree as measured through the main trunk at a point of four and one-half (4½) inches above the natural ground level*] of three (3) inches shall be planted in the front yard of an interior lot.

- (3) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (a) *Landscape Buffer and Sidewalks (Discovery Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of Discovery Boulevard, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a

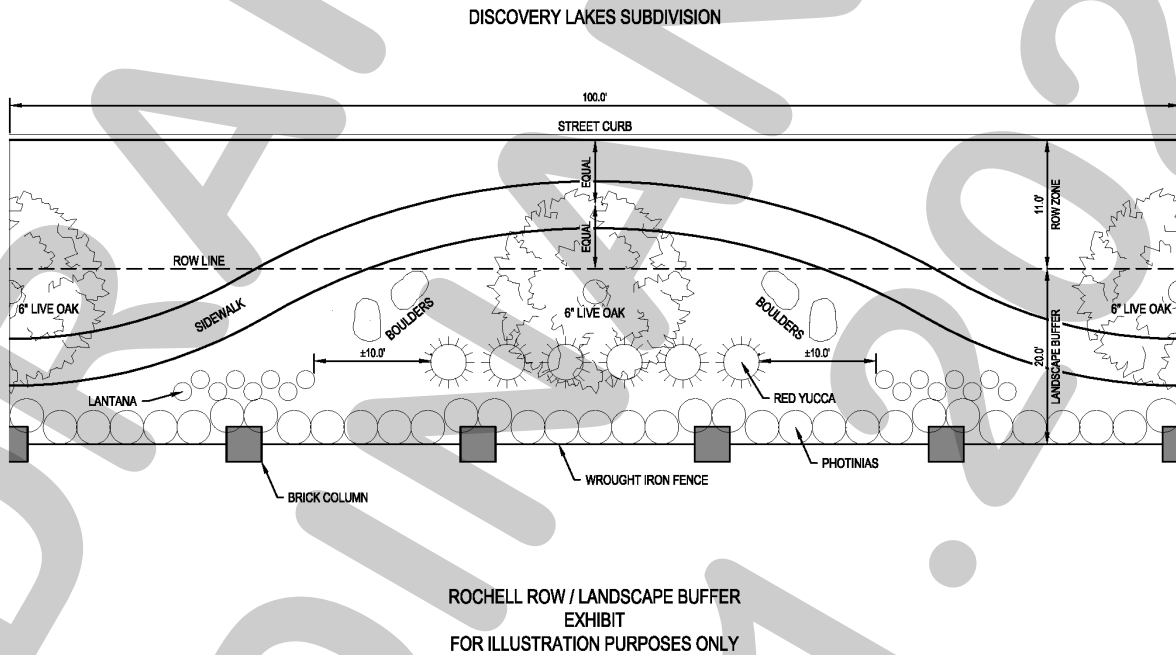


**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

maximum height of 48-inches. In addition, at least one (1) canopy tree shall be planted per 30-feet of linear frontage.

- (b) *Landscape Buffer (Rochell Road)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Rochell Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The landscape buffer along Rochell Road shall general conform to the following illustration [*i.e. Illustration 3*].

*Illustration 2: Landscape Buffer along Rochell Road.*



- (c) *Landscape Buffer (SH-276)*. A minimum of a 25-foot landscape buffer shall be provided along the frontage of SH-276, and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. In addition, all buffer-strip planting requirements shall conform to the requirements of Section 6.14, *SH-276 Corridor Overlay (SH-276 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (*i.e. minimum four [4] inch caliper trees required*).

- (4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

landscape architect and shall be maintained by the Homeowner's Association (HOA).

- (5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- (g) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (h) *Sidewalks*.
- i) *Internal Sidewalks*. All sidewalks adjacent to an interior residential street shall begin 5½-feet from the back of curb and be five (5) feet in overall width.
  - ii) *Sidewalks Adjacent to Rochell Road and Discovery Boulevard*. All sidewalks adjacent Rochell Road and Discovery Boulevard shall begin two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (i) *Open Space*. The development shall consist of a minimum of 20% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. Existing floodplain shall be counted at a rate of ½-acre for every acre provided (*e.g., 10-acres of floodplain would count as 5-acres of open space*). The Homeowner's Association (HOA) shall maintain all open space areas.
- (j) *Temporary On-Site Sanitary Sewer (OSSF)*. On-Site Sanitary Sewer (OSSF) systems shall only be allowed on *Type 'A'* lots that contain a minimum of 32,670 SF. OSSF's shall be designed by a State of Texas registered Professional Engineer, and each design shall specify an aerobic type system with drip (*underground*) irrigation system. All systems shall meet the minimum standards of the Texas Commission on Environmental Quality (TCEQ) and each installed system shall be inspected by a third-party licensed inspector and be paid for by the developer. Operation and maintenance of each individual OSSF shall be the responsibility of the property owner and the City will not assume any responsibility to the proper design, installation, operation, and maintenance of the system. In addition to the installation of the OSSF's for *Type 'A'* lots, each constructed home must provide a secondary connection that will allow the resident to disconnect and abandon the OSSF and connect to the future -- *developer provided* -- sanitary sewer system when it is made available. The *Developer*, during the development/construction of any phase of the subdivision, will be responsible for constructing the required sanitary sewer infrastructure (*i.e. mains and laterals*) as required by the City's Master Wastewater Plan. The *Developer* shall be responsible for escrowing the required impact fees for all lots utilizing an OSSF. A *Facilities Agreement* addressing how this money will be escrowed will be required to be drafted prior to the *Developer* submitting a preliminary plat with the City of Rockwall. This *Facilities Agreement* and the preliminary plat can be considered concurrently by the City Council; however, an approved, signed, and executed *Facilities Agreement* shall be a condition of approval of the preliminary plat. In addition, the *Developer* will be required to provide an appropriate disclosure statement regarding the obligation to connect to the City's wastewater system and any additional perceived costs to the

**Exhibit 'D':**  
*Permitted Land Uses and Development Standards*

homeowner associated with this connection in all real-estate contracts between the developer, homebuilder, and homeowner.

- (k) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
  - (l) *Community Center.* A site plan, landscape plan and building elevations shall be required for the proposed *Community Center* and shall be subject to site plan approval by the Planning and Zoning Commission prior to construction. The community center shall commence construction prior to the platting of the 201st residential lot, unless additional *Type 'A' lots -- above and beyond what is shown on the Concept Plan contained in Exhibit 'C' of this ordinance --* are requested; in which case, the developer shall commence construction of the community center as part of the phase that proposes the additional *Type 'A' lots*.
  - (m) *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.
- (4) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (5) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** November 11, 2025

**APPLICANT:** Lisa Brooks and Rene'e Holland; *Makeway, LLC*

**CASE NUMBER:** Z2025-067; *Specific Use Permit (SUP) for a Daycare that Exceeds the Maximum Size in Neighborhood Services (NS) District*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Lisa Brooks and Rene'e Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a *Daycare Facility Exceeding the Maximum Building Size* in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

### **BACKGROUND**

The subject property was annexed into the City on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 7, 2025, the City Council approved a zoning change [*Case No. Z2025-006*] changing the zoning of the subject property from an Agriculture (AG) District to a Neighborhood Services (NS) District. The subject property has been vacant since annexation.

### **PURPOSE**

On October 17, 2025, the applicants -- *Lisa Brooks and Rene'e Holland of Makeway, LLC* -- submitted an application requesting a Specific Use Permit (SUP) for a building exceeding 5,000 SF in size in a Neighborhood Services (NS) District to allow the construction of an 11,114 SF daycare facility.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at the southeast corner of the intersection of John King Boulevard and Quail Run Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Quail Run Road, which is identified as a *A4U (i.e. arterial, four [4] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing north is the Gideon Grove Subdivision, which was established on May, 3, 2019, consists of 72 single-family residential lots on 29.18-acres, and is zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses. Beyond this is a residential subdivision that is located outside of the corporate limits of the City of Rockwall.

South: Directly south of the subject property is John King Boulevard, which is identified as a *P6D (i.e. principle arterial, six [6] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing south is Phase 8A of the Caruth Lake Subdivision, which was established on December 20, 2012, consists of 63 single-family residential lots on 22.66-acres, and is zoned Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses.



East: Directly east of the subject property is E. Old Quail Run Road, which is identified as a R2 [i.e. residential, two (2) lane, undivided roadway] on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing east are two (2) lots (i.e. Lot 1 [1.82-acres], and Lot 2 [2.12-acres], Block A, Utley Addition) zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is a 17.51-acre tract of land (i.e. Lot 1, Block A, Cox Acres), which has a single-family home situated on the property and is zoned Agricultural (AG) District.

West: Directly west of the subject property is John King Boulevard, which is identified as a P6D (i.e. principle arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Continuing west is Phase 2 of the Gideon Grove Subdivision, which was established on March 22, 2022, consists of 96 single-family residential lots on 30.06-acres, and is zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses.

**MAP 1: LOCATION MAP**

**YELLOW: SUBJECT PROPERTY**



**CHARACTERISTICS OF THE REQUEST**

The applicant is requesting approval of a Specific Use Permit (SUP) to allow the construction of a daycare facility exceeding 5,000 SF in size on a 2.751-acre parcel of land zoned Neighborhood Services (NS) District. According to the Neighborhood Services (NS) District standards contained in the Unified Development Code (UDC), daycare facilities are permitted *by-right* when the building area does not exceed 5,000 SF. When the total building area exceeds this threshold, a Specific Use Permit (SUP) is required. Based on the applicant's submittal, the proposed building will exceed this threshold by 6,114 SF. The site plan shows the construction of a single-story daycare facility with a total building area of approximately 11,114 SF. The proposed building will be oriented toward John King Boulevard, with primary vehicular access taken from E. Quail Run Road and John King Boulevard. No access is proposed from Old E. Quail Run Road, consistent with staff's prior recommendations to limit commercial traffic adjacent to existing residential properties.

The building elevations illustrate a structure designed to complement surrounding residential development. The proposed building incorporates a combination of brick and stone masonry, neutral color tones, and pitched roof elements that reduce the

perception of massing and create a residentially compatible appearance. The overall height of the structure is approximately 20 feet, which is well below the maximum height allowed within the Neighborhood Services (NS) District.

Parking for the facility will be provided along the front and side façades of the building, meeting the minimum off-street parking requirements of the Unified Development Code (UDC). Internal circulation is designed to accommodate parent drop-off and pick-up activity while maintaining safe pedestrian access to the building entrances. A fenced outdoor play area is proposed to the rear of the building and will be enclosed by a minimum six (6) foot wrought-iron fence, consistent with the requirements of the Unified Development Code (UDC). Additional landscape buffering will be provided along all property boundaries, particularly where the property adjoins residentially zoned or used properties. Landscaping along John King Boulevard and Quail Run Road will include canopy trees, ornamental plantings, and turf areas that meet or exceed the minimum landscaping standards of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 04.03, *Neighborhood Services (NS) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Neighborhood Services (NS) District is intended to provide for low-intensity retail and service uses that are compatible with and complementary to surrounding residential neighborhoods. The district emphasizes pedestrian-scaled design, high-quality architecture, and site layouts that create appropriate transitions between commercial and residential areas.

The proposed daycare facility generally conforms to the dimensional and site development standards for the Neighborhood Services (NS) District, including building height, setbacks, lot coverage, and off-street parking. The site layout demonstrates compliance with the landscaping and screening requirements of the Unified Development Code (UDC), and the proposed access configuration appropriately directs commercial traffic to John King Boulevard and E. Quail Run Road, avoiding Old E. Quail Run Road, which serves existing residential neighborhoods; however, the proposed driveway configuration along E. Quail Run Road does *not* meet the minimum driveway spacing requirements established by the City of Rockwall's *Engineering Standards of Design and Construction*. The minimum spacing for E Quail Run Road is 200-feet, and the proposed development provides around 150-feet from the existing drives. In addition, the irregular shape and limited frontage of the site hinder the applicant's ability to fully adhere to the City's spacing requirements. While this spacing deficiency will need to be addressed as a variance during the site plan review process, it is not anticipated to significantly hinder overall traffic circulation or site accessibility given the expected traffic volumes expected along E. Quail Run Road.

The subject property is also located within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, which establishes additional design and development standards intended to promote visual quality and corridor consistency along major roadways. These standards require enhanced site and building design, quality exterior materials, and appropriate screening and buffering for properties visible from the John King Boulevard corridor.

While the proposed site layout and use are consistent with the intent of the Neighborhood Services (NS) District and the SH-205 By-Pass Overlay (SH-205 BY-OV) District's standards, final design will be reviewed through the standard site plan process to verify compliance with all applicable building, landscaping, lighting, and screening requirements.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Northeast Residential District* and was previously designated for *Low Density Residential* land uses. The Comprehensive Plan describes the *Northeast Residential District* as an area characterized by established and emerging single-family neighborhoods with a predominantly residential development pattern; however, the Plan also acknowledges that neighborhood-supportive commercial uses may be appropriate at the periphery of residential areas -- *particularly along major corridors such as John King Boulevard* -- where adequate buffering and site design can ensure compatibility.

When the City Council approved the rezoning of the property from Agricultural (AG) to Neighborhood Services (NS) District on March 11, 2025, it recognized the property's potential to accommodate neighborhood-serving commercial uses consistent with the intent of the Comprehensive Plan's *Neighborhood/Convenience Center* concept. These small-scale commercial nodes are envisioned to provide everyday services -- *such as childcare facilities, personal care establishments, and professional offices* - - that meet the daily needs of nearby residents while maintaining a residentially compatible scale and character.

The proposed daycare facility aligns with the Comprehensive Plan's guiding principles for neighborhood compatibility and service accessibility. Specifically, the project supports:

- CHAPTER 08 RESIDENTIAL | POLICY 03 | GOAL 01 EXISTING RESIDENTIAL SUBDIVISIONS AND DEVELOPMENTS: Protect existing single-family neighborhoods from the negative effects of non-residential development through appropriate scale, buffering, and design. In this case, the proposed development is providing a ten (10) foot, three (3) tier landscape buffer along Old E. Quail Run Road, which will incorporate the use of the existing thick tree-line along this roadway.
- CHAPTER 09 NON-RESIDENTIAL | POLICY 03 | GOAL 04 COMMERCIAL BUILDING DESIGN: Non-residential buildings adjacent to residential properties should be designed to a residential scale to assist the transition of land uses, and mitigate any potential negative visual impacts of the commercial development. As noted in the *Adjacent Land Uses and Access* section of this case memo, there are several nearby residential subdivisions. The applicant has indicated to staff that the design of the building will reflect the style and architecture of the nearby subdivisions.

The proposed use -- *an early childhood education and daycare facility* -- is a neighborhood-serving, low-intensity land use consistent with these objectives. The project's scale, location, and function align with the City's vision for providing accessible, community-oriented services within close proximity to residential areas. The proposed daycare facility is consistent with the land use intent of the OURHometown Vision 2040 Comprehensive Plan. The project supports the Plan's emphasis on balanced growth, compatible development, and the establishment of neighborhood-scale services that enhance quality of life for nearby residents.

## **STAFF ANALYSIS**

From a land use perspective, staff finds that the proposed daycare facility is consistent with the intent and purpose of the Neighborhood Services (NS) District. The district is designed to accommodate low-intensity commercial and service uses that support adjacent residential neighborhoods while maintaining a residentially compatible scale. The proposed *daycare facility* represents a neighborhood-serving use that would provide a needed community service to nearby residents without introducing an intensity of development inconsistent with the area's established character.

The site layout demonstrates compliance with the applicable development standards contained in the Unified Development Code (UDC), including requirements related to building setbacks, lot coverage, parking, landscaping, and screening. Vehicular access is provided from John King Boulevard and E. Quail Run Road, consistent with prior staff recommendations to avoid access from Old E. Quail Run Road, which serves existing residential homes. However, as mentioned in the Conformance to the City's Codes section of this memo, the proposed driveway configuration along E. Quail Run Road does *not* meet the minimum driveway spacing requirements established by the City of Rockwall's *Engineering Standards of Design and Construction*. This will require a variance through the site plan process. In addition, the site design includes appropriate buffering and screening, ensuring a functional and visually compatible transition between the proposed commercial use and nearby residential areas.

The property's location at the intersection of John King Boulevard and Quail Run Road also aligns with the OURHometown Vision 2040 Comprehensive Plan's direction for neighborhood-scale, service-oriented commercial uses to be located along major corridors or intersections that can safely accommodate additional traffic and limit direct impacts to residential streets.

In summary, the proposed daycare facility represents a neighborhood-serving, low-intensity use that is compatible with surrounding land uses, consistent with the Comprehensive Plan's policy direction, and appropriate within the Neighborhood Services (NS) District. With all that being said, Specific Use Permits (SUPs) are a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On October 21, 2025, staff notified 69 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) and Stoney Hollow Homeowners Association (HOA), which are the only Homeowner's Associations (HOAs) or Neighborhood Groups participating in the Neighborhood Notification Program that are within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the

Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received two (2) notices in opposition of the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Daycare Facility* exceeding the maximum size within a Neighborhood Services (NS) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of a *Daycare Facility* on the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) A ten (10) foot landscape buffer with three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) is required along E. Old Quail Run Road.
  - (c) The proposed *Daycare Facility* shall not exceed 11,200 SF.
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.  
**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.  
DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**  
 MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>  
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
 FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
 REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>  
 AMENDING OR MINOR PLAT (\$150.00)  
 PLAT REINSTATEMENT REQUEST (\$100.00)  
**SITE PLAN APPLICATION FEES:**  
 SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>  
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**  
 ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>  
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>  
**OTHER APPLICATION FEES:**  
 TREE REMOVAL (\$75.00)  
 VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>  
**NOTES:**  
<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **JOHN KING / E. QUAIL RUN / OLD QUAIL RUN**  
SUBDIVISION **TRACT 1-04 (S.R. Barnes Survey)** LOT BLOCK  
GENERAL LOCATION **ABSTRACT No. 13, ROCKWALL COUNTY**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Comm- NS** CURRENT USE **NA**  
PROPOSED ZONING **NS + SUP** PROPOSED USE **CHILD CARE CENTER**  
ACREAGE **2.75** LOTS [CURRENT] LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <b>LISA BROOKS</b>	<input checked="" type="checkbox"/> APPLICANT <b>RENEE HOLLAND</b>
CONTACT PERSON <b>LISA BROOKS</b>	CONTACT PERSON <b>RENEE HOLLAND</b>
ADDRESS <b>1215 RIDGE RD W</b>	ADDRESS <b>805 EAGLE PASS</b>
CITY, STATE & ZIP <b>ROCKWALL, TX 75087</b>	CITY, STATE & ZIP <b>HEATH, TX 75032</b>
PHONE <b>214.402.2349</b>	PHONE <b>214.402.6511</b>
E-MAIL <b>aalcbrooks@yahoo.com</b>	E-MAIL <b>jholland1977@yahoo</b>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

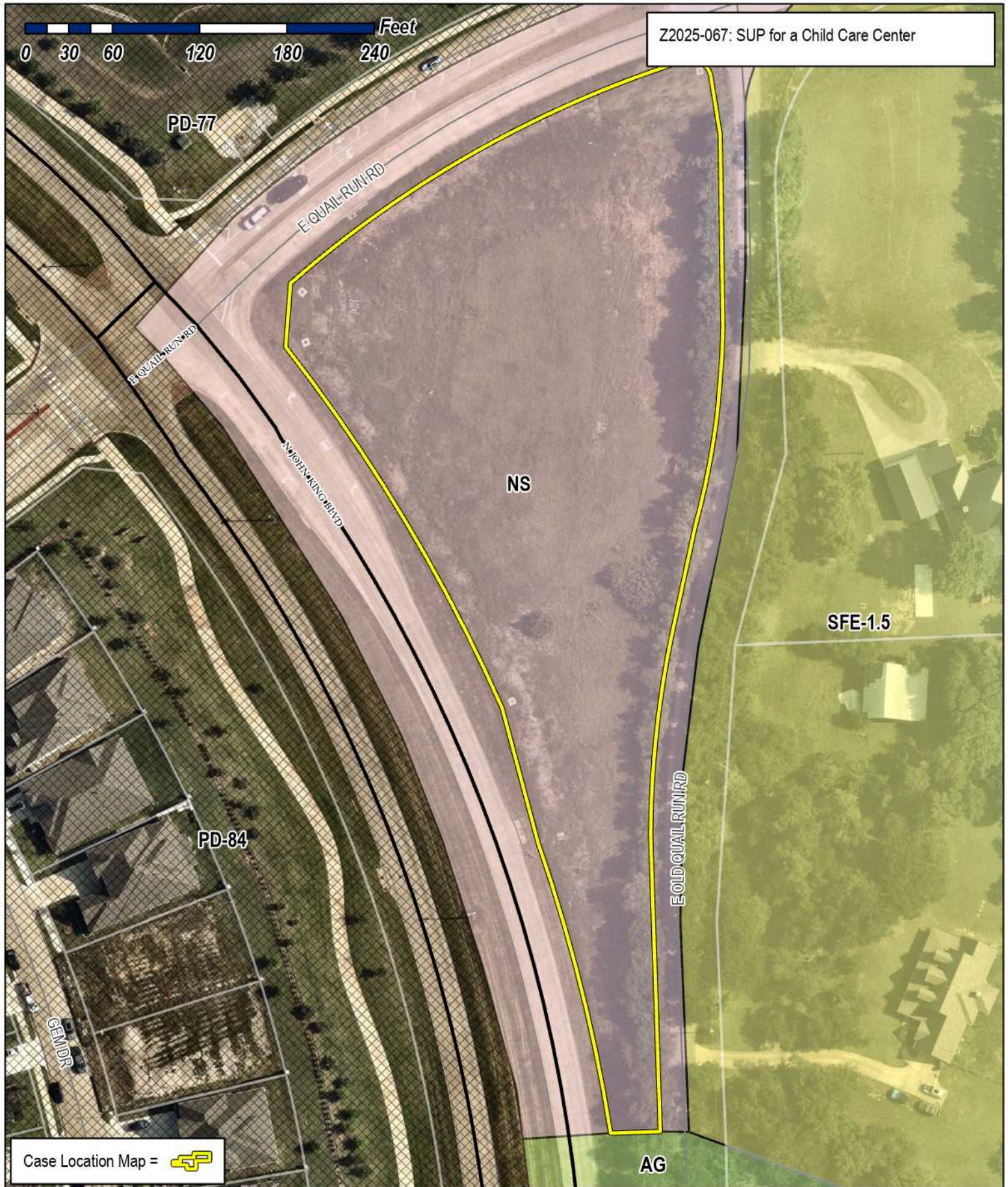
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES





Z2025-067: SUP for a Child Care Center

0 30 60 120 180 240 Feet

PD-77

EQUAIL-RUN RD

EQUAIL-RUN RD

W JOHN WING RD

NS

SFE-1.5

E OLD QUAL RUN RD

PD-84

GENOR

AG

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



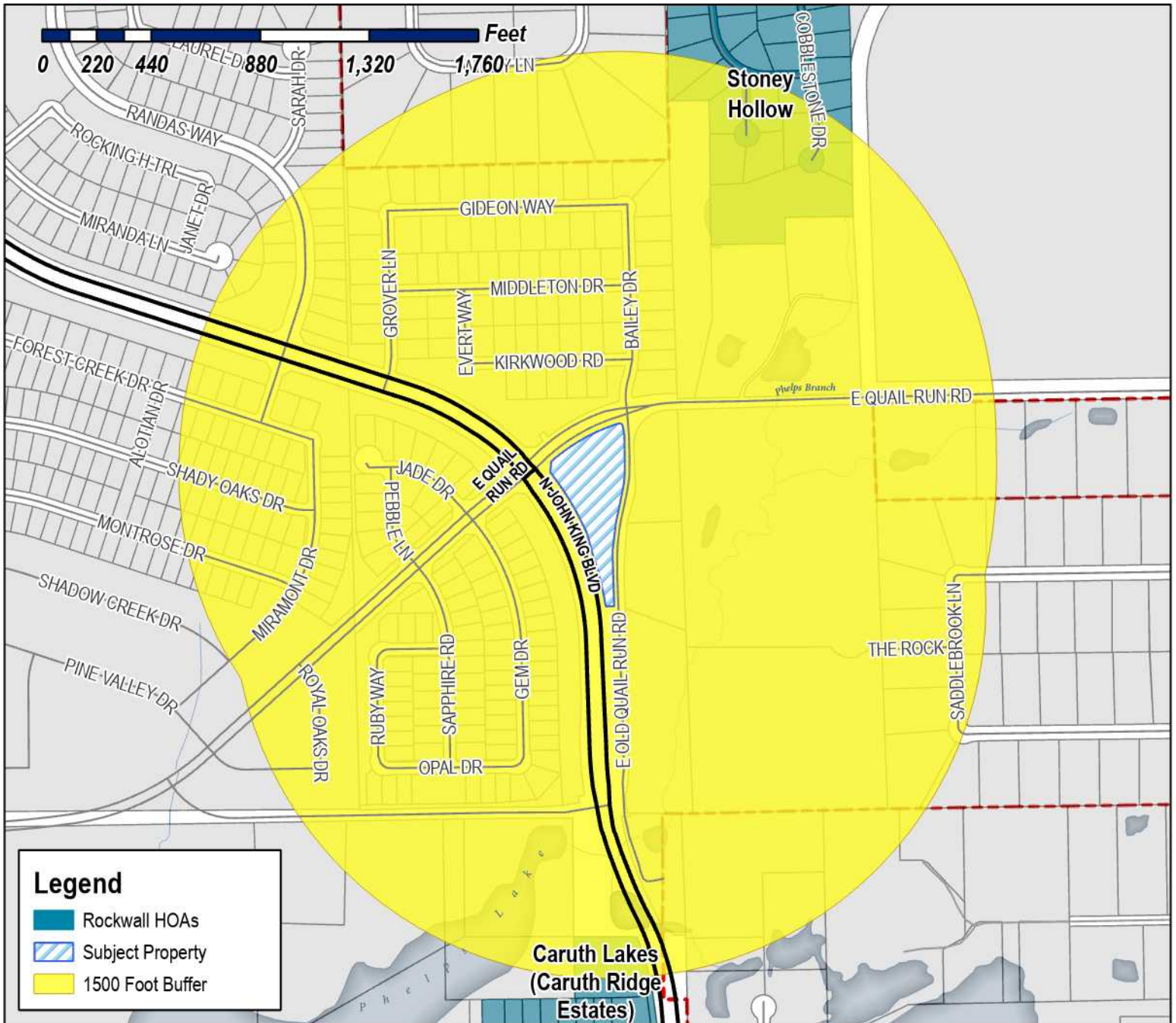




# City of Rockwall

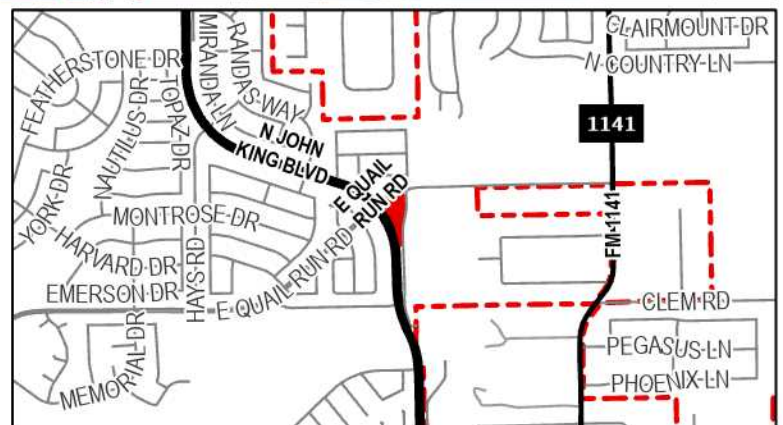
Planning & Zoning Department  
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**Case Number:** Z2025-067  
**Case Name:** SUP for a Child Care Center  
**Case Type:** Zoning  
**Zoning:** Neighborhood Service (NS) District  
**Case Address:** SE Corner of N John King and Quail Run Road

**Date Saved:** 10/16/2025  
 For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, October 22, 2025 12:41 PM  
**Cc:** Miller, Ryan; Lee, Henry; Ross, Bethany  
**Subject:** Neighborhood Notification Program [Z2025-067]  
**Attachments:** Public Notice (10.20.2025).pdf; HOA Map (10.16.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2025-067: SUP for a Daycare Facility Exceeding the Maximum Building Size**

Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a Specific Use Permit (SUP) for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568

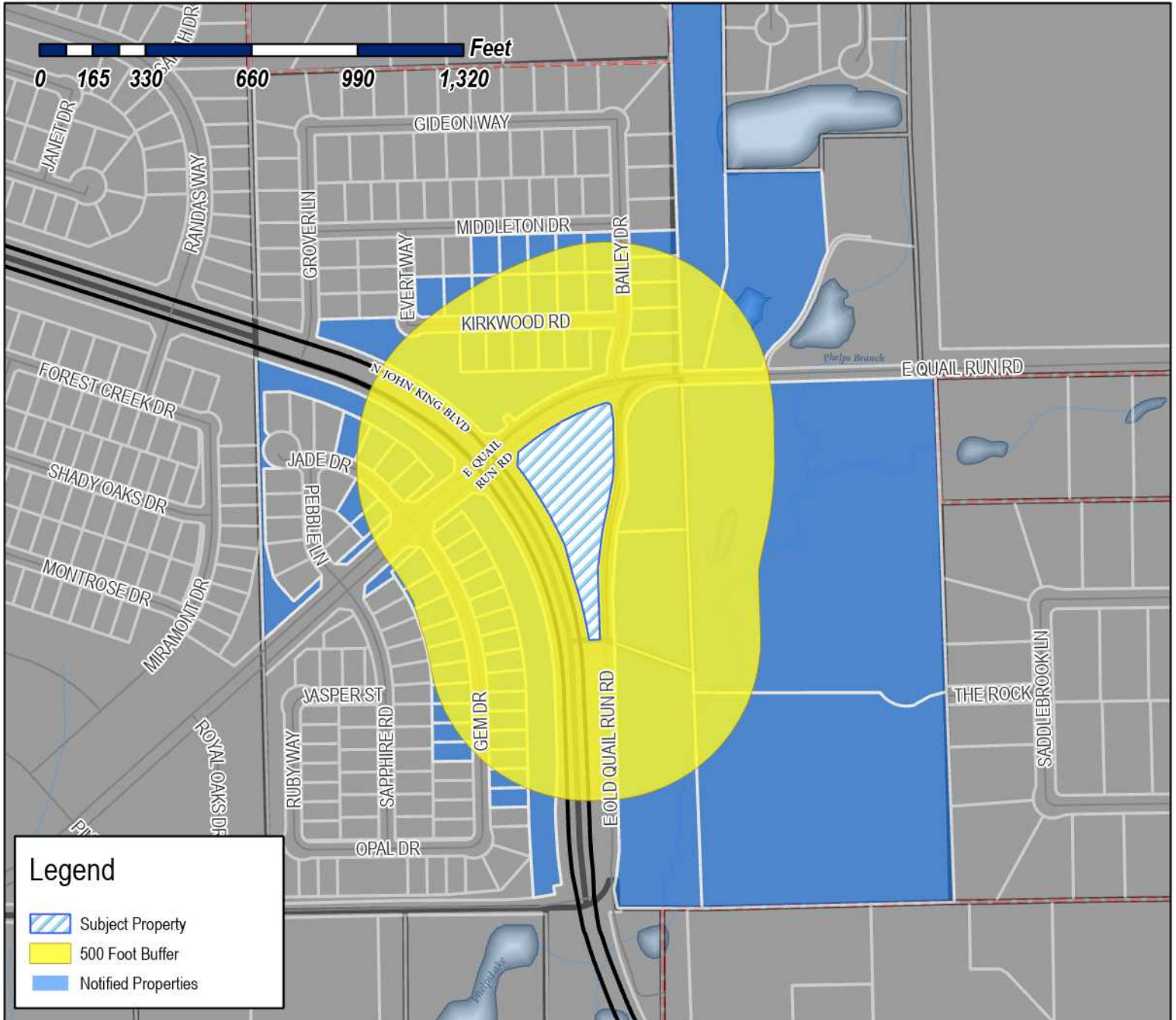




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

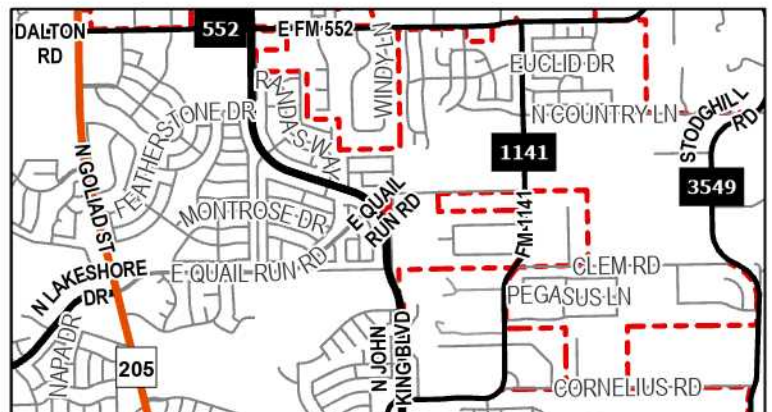
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2025-067  
**Case Name:** SUP for a Child Care Center  
**Case Type:** Zoning  
**Zoning:** Neighborhood Service (NS) District  
**Case Address:** SE Corner of N John King and Quail Run Road

**Date Saved:** 10/16/2025

For Questions on this Case Call: (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION  
INC  
1024 S Greenville Ave Ste 230  
Allen, TX 75002

HUNTER MICHELLE ZERBE AND  
TRACY GIL HUNTER  
1304 KIRKWOOD ROAD  
ROCKWALL, TX 75087

VALENCIA BRANDON AND AMANDA  
1308 KIRKWOOD ROAD  
ROCKWALL, TX 75087

SMITH SAMUEL CURTIS & CHRISTEN  
SWEARENGIN  
1309 Kirkwood Rd  
Rockwall, TX 75087

ABU BAKR BILAL & NADIA BILAL  
1311 MIDDLETON DRIVE  
ROCKWALL, TX 75087

MCDANIEL TIMMY E & SHIRLEY G  
1312 KIRKWOOD RD  
ROCKWALL, TX 75087

WOLFGRAM FAMILY LIVING TRUST  
MARK WOLFGRAM AND TIFFANY WOLFGRAM -  
TRUSTEES  
1313 KRIKWOOD ROAD  
ROCKWALL, TX 75087

RESIDENT  
1315 MIDDLETON DRIVE  
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT AND ANDREA  
KRISTINA  
1316 KIRKWOOD RD  
ROCKWALL, TX 75087

WATTS RICKY & JACQUELINE  
1317 KIRKWOOD RD  
ROCKWALL, TX 75087

FARRELL SALLY A AND JOHN T  
1319 MIDDLETON DRIVE  
ROCKWALL, TX 75087

FARRELL ERIN ELIZABETH AND TIMOTHY DANIEL  
1320 KIRKWOOD ROAD  
ROCKWALL, TX 75087

RUTTER KENT DOUGLAS AND MARIA ELENA  
1321 KIRKWOOD ROAD  
ROCKWALL, TX 75087

JORDAN RAYSHAWN AND LANDRIA  
1323 MIDDLETON DRIVE  
ROCKWALL, TX 75087

BOLES GEORGE AND JANET  
1324 KIRKWOOD ROAD  
ROCKWALL, TX 75087

KANDIMALLA RAHUL  
1325 KIRKWOOD  
ROCKWALL, TX 75087

SMALLWOOD GENE R AND SHIRLEY J  
1327 MIDDLETON DR  
ROCKWALL, TX 75087

LAMPI MATTHEW OLAVI AND LISA CHARMAGNE  
1328 KIRKWOOD RD  
ROCKWALL, TX 75087

KOUVELIS HILDA & PETER  
1415 E QUAIL RUN RD  
ROCKWALL, TX 75087

LARRIVIERE MICHAEL R & LISA J  
1425 E QUAIL RUN RD  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C SUITE 200  
PFLUGERVILLE, TX 78660

TYLER WILLIAM L AND VANITA RAE  
1501 THE ROCK  
ROCKWALL, TX 75087

LEFERE MARCY NICOLE AND ALIDOR PHILLIP IV  
1691 E Quail Run Rd  
Rockwall, TX 75087

AZBILL THOMAS &  
CHRISTINA CHEW  
1714 GEM DR  
ROCKWALL, TX 75087

BONNER URSULA L  
1720 Gem Dr  
Rockwall, TX 75087

HOLLOWAY BETTYE  
1726 GEM DR  
ROCKWALL, TX 75087

BOGISAM VENKATA RAMESHBABU &  
SIREESHA KANDULA  
1727 GEM DR  
ROCKWALL, TX 75087

GIBSON JASON M & CAMIE  
1732 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1733 GEM DR  
ROCKWALL, TX 75087

JONES CHRISTOPHER JR & JUSTICE JONES  
1738 Gem Dr  
Rockwall, TX 75087

RESIDENT  
1739 GEM DR  
ROCKWALL, TX 75087

SKINNER PATRICIA KAY  
1744 Gem Dr  
Rockwall, TX 75087

RESIDENT  
1745 GEM DR  
ROCKWALL, TX 75087

VAIRAGYAM RAHUL & LAKSHMI  
NARAYANACHARI SRIRAMACHARI  
1745 Gem Dr  
Rockwall, TX 75087

PICHARDO ROGER FRANCISCO AND COURTNEY  
RAE  
1751 E QUAIL RUN  
ROCKWALL, TX 75087

RESIDENT  
1800 E QUAIL RUN RD  
ROCKWALL, TX 75087

JENNINGS RYNE THOMAS  
1804 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1805 GEM DR  
ROCKWALL, TX 75087

NGUYEN JASON &  
KATHY HOANG DOAN  
1810 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1815 E OLD QUAIL RUN RD  
ROCKWALL, TX 75087

GREWAL MANJINDER S MANJIT K GREWAL  
1815 Gem Dr  
Rockwall, TX 75087

SAMUEL JOY C & DICKSON I  
1816 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1822 GEM DR  
ROCKWALL, TX 75087

MERTENS ANDREW & JENNIFER LOUISE  
SIFUENTES  
1823 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1828 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1831 GEM DR  
ROCKWALL, TX 75087

GRACEVILLA BLESSY KUNJUMON  
1832 Gem Dr  
Rockwall, TX 75087

RESIDENT  
1837 GEM DR  
ROCKWALL, TX 75087

SCHULZE KYLER W AND  
JANETTE SCHULZE  
1838 GEM DR  
ROCKWALL, TX 75087

PITTI VIKRAM AND  
PRATHIBHA ANKALA  
1844 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1845 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1850 GEM DR  
ROCKWALL, TX 75087

RESIDENT  
1906 JADE DR  
ROCKWALL, TX 75087

RESIDENT  
1907 JADE DR  
ROCKWALL, TX 75087

JARAMILLO JOE & NORA  
1912 JADE DR  
ROCKWALL, TX 75087

BRUMFIELD ADRIENNE & STANLEY BRUMFIELD  
1913 Jade Dr  
Rockwall, TX 75087

LOPEZ MICHAEL A & TYLER C SMOCK-LOMBARDI  
1918 Jade Dr  
Rockwall, TX 75087

SIMMONS LAKEYA  
1924 Jade Dr  
Rockwall, TX 75087

BERHE MERHAWI  
2002 BAILEY DRIVE  
ROCKWALL, TX 75087

GARDNER-NEWELL FAMILY TRUST  
JAMES K GARDNER JR AND KARIN B NEWELL-  
COTRUSTEES  
2006 BAILEY DRIVE  
ROCKWALL, TX 75087



DEAPEN RICHARD AND ALICIA  
2010 BAILEY DRIVE  
ROCKWALL, TX 75087

HARRIS ALBERT G AND JENNIFER O  
2014 BAILEY DRIVE  
ROCKWALL, TX 75087

WIMPEE JAKE M AND REBECCA K  
2018 BAILEY DRIVE  
ROCKWALL, TX 75087

SHANE HOMES INC  
325 N SAINT ST STE 3100 #2901  
DALLAS, TX 75201

STOCK EDWARD J  
3951 VZ COUNTY ROAD 3415  
WILLS POINT, TX 75169

WINDSOR HOMES CUMBERLAND LLC  
5310 Harvest Hill Rd Ste 162  
Dallas, TX 75230

DFW FARMLAND ESTATES LLC  
7105 N Cherokee Xing W  
Warr Acres, OK 73132

MAKEWAY LLC  
805 EAGLE PASS  
HEATH, TX 75032

COX GERALD GLEN AND ROSALBA CARRASCO  
815 T L Townsend Dr Ste 101  
Rockwall, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-066: SUP for a Daycare Facility Exceeding the Maximum Building Size

Hold a public hearing to discuss and consider a request by Lisa Brooks and Renee Holland of Makeway, LLC for the approval of a *Specific Use Permit (SUP)* for a Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-066: SUP for a Daycare Facility Exceeding the Maximum Building Size

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

As a homeowner closest to proposed daycare, my wife and I are strongly against this proposed zoning change. The noise and increased traffic will effect will effect our quality of life and effect our home value negatively

Name: Ricky Watts + Jacqueline Watts

Address: 1317 Kirkwood

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2025-066: SUP for a Daycare Facility Exceeding the Maximum Building Size

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

There is already enough (too much) traffic on John King as it is. It's difficult to get out of neighborhood from Quail Run as it is without the constant in and out of Day Care traffic.  
Name: Tim & Gail McDaniel  
Address: 1312 Kirkwood Rd

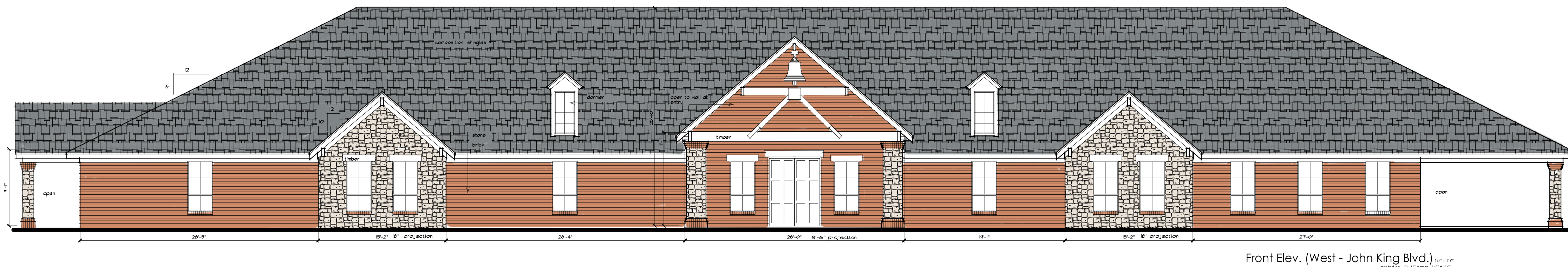
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

It seems City Council has already made up their minds on this issue!  
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





revisions:

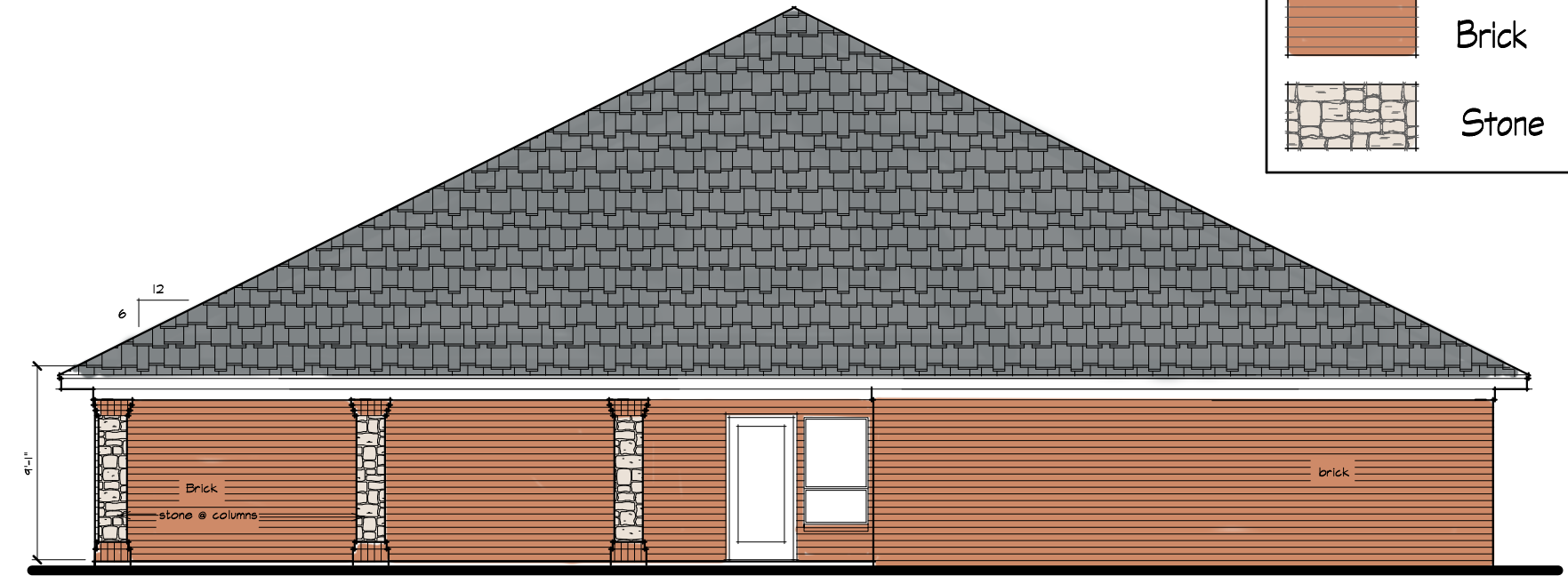


Front Elev. (West - John King Blvd.) 1/4" = 1'-0"  
printed on 11" x 17" paper - 1/8" x 1'-0"

Material Legend	
	Composition Shingles
	Brick
	Stone

Masonry Tabulation			
AREAS	MASONRY SF.	SIDING SF.	TOTAL SF. % MASONRY
FRONT	1,339	0	1,339 100
LEFT	442	0	442 100
REAR	1,163	0	1,163 100
RIGHT	488	0	488 100
<b>TOTALS</b>	<b>3,432 SF.</b>	<b>0 SF.</b>	<b>3,432 SF. 100%</b>

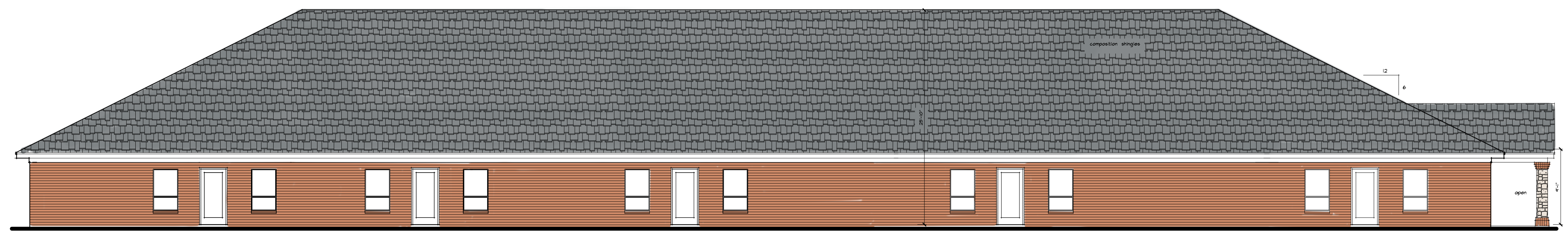
Square footages do not include doors & windows.



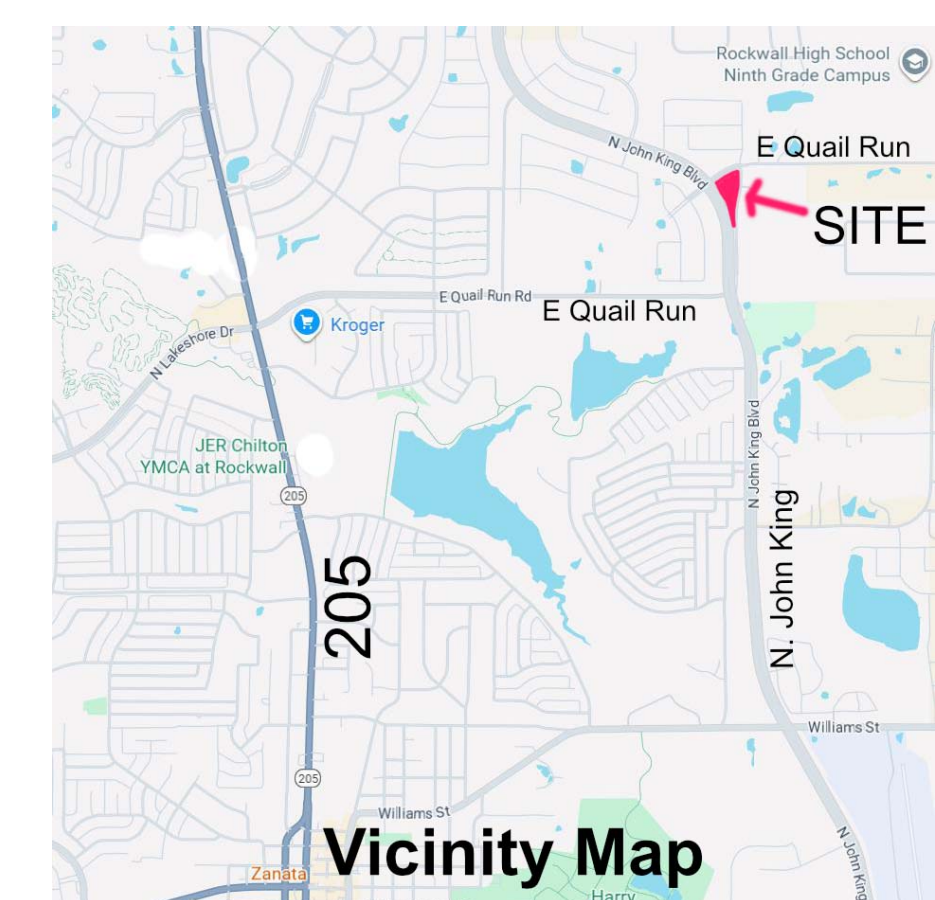
Right Elev. (South) 1/4" = 1'-0"  
printed on 11" x 17" paper - 1/8" x 1'-0"



Left Elev. (West - East Quail Run Rd.) 1/4" = 1'-0"  
printed on 11" x 17" paper - 1/8" x 1'-0"



Rear Elev. (E. Old Quail Run) 1/4" = 1'-0"  
printed on 11" x 17" paper - 1/8" x 1'-0"



HARVEST ACADEMY CHILD CARE CENTER	
Owner/Developer	Lot/Block
Lisa Brooks / Renee Holland 7215 Ridge Row Rockwall, Texas 75087 214-402-22349 aalbrooks@yahoo.com	Tract 1-04 of the S. R. Barnes Surety, Abstract No 13 City of Rockwall, Rockwall County, Texas 2.751 Acres

(SUP Request) Z2025-006 (orig. zoning case)



**creativearchitects**  
 scott b. roberts, architect

1026 creekwood drive  
 garland, texas 75044  
 972-530-4872  
 www.creative-architect.com  
 scott@cr-ar.com

elevations  
 2025204  
 october 15, 2024  
 © copyright 2025  
 creative architects

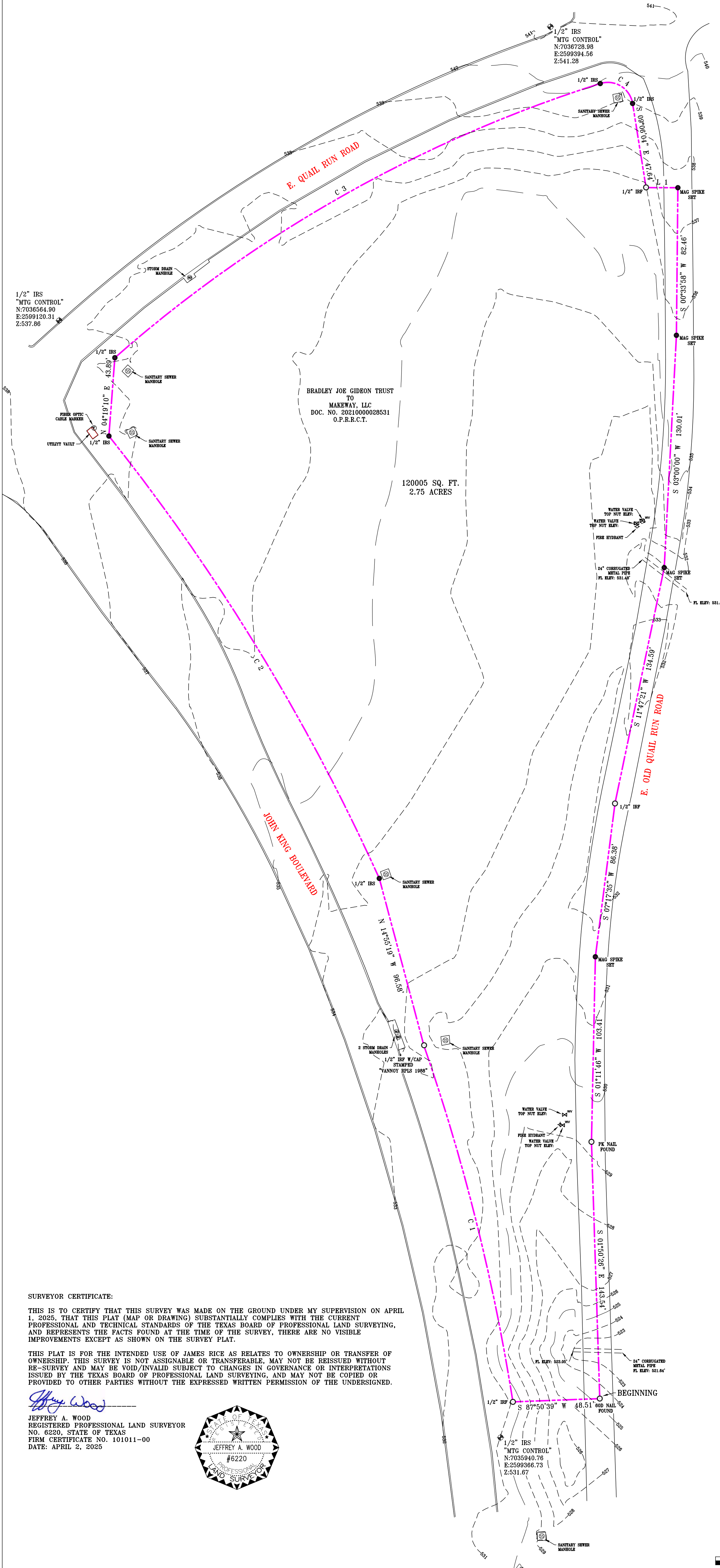


S.R. BARNES HEADRIGHT SURVEY, ABSTRACT 13

LINE	BEARING	DISTANCE
L 1	S 89°52'55" E	17.75'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C 1	1160.00'	205.55'	10°09'10"	N 14°01'14" W	205.28'
C 2	1171.00'	290.36'	14°12'25"	N 31°25'08" W	289.62'
C 3	757.50'	313.57'	23°43'04"	N 60°31'28" E	311.94'
C 4	14.00'	24.07'	98°30'28"	S 58°21'18" E	21.21'



**PROPERTY DESCRIPTION**  
 120005 SQ. FT.  
 2.75 ACRES  
 CITY OF ROCKWALL, ROCKWALL COUNTY

All that certain lot, tract or parcel of land situated in the S.R. Barnes Headright Survey, City of Rockwall, Rockwall County, Texas, being all of that certain tract of land described in the deed from Bradley Joe Gideon Trust to Makeway, LLC, as recorded in Document Number 20210000028531 of the Official Public Records of Rockwall County, Texas (hereinafter called Subject Tract) and being more particularly described by metes and bounds as follows:

**BEGINNING** at a 60d nail found for a corner lying in E. Old Quail Run Road, said corner being the Southeast corner of the said Subject Tract and an outside ell of John King Boulevard;

**THENCE** S. 87 deg. 50 min. 39 sec. W. a distance of 48.51 feet along the North Right-of-Way line of the said John King Boulevard and the South line of the said Subject Tract to a 1/2" iron rod found for a corner at the beginning of a circular curve to the left, said corner being the Southwest corner of the said Subject Tract;

**THENCE** in a Northwesterly direction along the arc of the said circular curve to the left a distance of 205.55 feet, with a radius of 1160.00 feet, a central angle of 10 deg. 09 min. 10 sec., a chord bearing of N. 14 deg. 01 min. 14 sec. W. and a chord distance of 205.28 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod with cap stamped "VANNON RPLS 1988" found for a corner at the end of the said circular curve to the left;

**THENCE** N. 14 deg. 55 min. 19 sec. W. a distance of 96.58 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod set with plastic cap stamped "MTG ENG" set (hereinafter called 1/2" iron rod set) for a corner at the beginning of a circular curve to the left;

**THENCE** in a Northwesterly direction along the arc of the said circular curve to the left a distance of 290.36 feet, with a radius of 1171.00 feet, a central angle of 14 deg. 12 min. 25 sec., a chord bearing of N. 31 deg. 25 min. 08 sec. W. and a chord distance of 289.62 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the left;

**THENCE** N. 04 deg. 19 min. 10 sec. E. a distance of 43.89 feet along the East Right-of-Way line of the said John King Boulevard and the West line of the said Subject Tract to a 1/2" iron rod set for a corner of the intersection of the East Right-of-Way line of the said John King Boulevard and the South Right-of-Way line of E. Quail Run Road and at the beginning of a circular curve to the right, said corner being the Northwest corner of the said Subject Tract;

**THENCE** in a Northeasterly direction along the arc of the said circular curve to the right a distance of 313.57 feet, with a radius of 757.50 feet, a central angle of 23 deg. 43 min. 04 sec., a chord bearing of N. 60 deg. 31 min. 28 sec. E. and a chord distance of 311.94 feet along the South Right-of-Way line of the said E. Quail Run Road to a 1/2" iron rod set for a corner at the end of the said circular curve to the right and at the beginning of a circular curve to the right;

**THENCE** in a Southeasterly direction along the arc of the said circular curve to the right a distance of 24.07 feet, with a radius of 14.00 feet, a central angle of 98 deg. 30 min. 28 sec., a chord bearing of S. 58 deg. 21 min. 18 sec. E. and a chord distance of 21.21 feet along the Southwest Right-of-Way line of the said E. Quail Run Road and the Northeast line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the right;

**THENCE** S. 09 deg. 06 min. 04 sec. E. a distance of 47.64 feet along the West Right-of-Way line of the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point;

**THENCE** S. 89 deg. 52 min. 55 sec. E. a distance of 17.75 feet along the South Right-of-Way line of the said E. Quail Run Road and the North line of the said Subject Tract to a mag spike set for a corner lying in the said E. Old Quail Run Road, said corner being the Northeast corner of the said Subject Tract;

**THENCE** S. 00 deg. 33 min. 58 sec. W. a distance of 82.46 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a mag spike set for a corner at an angle point;

**THENCE** S. 03 deg. 00 min. 00 sec. W. a distance of 130.01 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a mag spike set for a corner at an angle point;

**THENCE** S. 11 deg. 47 min. 21 sec. W. a distance of 134.59 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod found for a corner at an angle point;

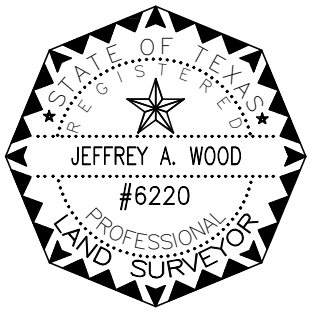
**THENCE** S. 07 deg. 17 min. 35 sec. W. a distance of 86.38 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a mag spike set for a corner at an angle point;

**THENCE** S. 01 deg. 11 min. 46 sec. W. a distance of 103.41 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a pk nail found for a corner at an angle point;

**THENCE** S. 01 deg. 50 min. 26 sec. E. a distance of 143.54 feet to the POINT OF BEGINNING and containing 120005 square feet, 2.75 acres of land.

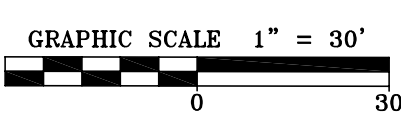
**SURVEYOR CERTIFICATE:**  
 THIS IS TO CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION ON APRIL 1, 2025, THAT THIS PLAT (MAP OR DRAWING) SUBSTANTIALLY COMPLIES WITH THE CURRENT PROFESSIONAL AND TECHNICAL STANDARDS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY, THERE ARE NO VISIBLE IMPROVEMENTS EXCEPT AS SHOWN ON THE SURVEY PLAT.  
 THIS PLAT IS FOR THE INTENDED USE OF JAMES RICE AS RELATES TO OWNERSHIP OR TRANSFER OF OWNERSHIP. THIS SURVEY IS NOT ASSIGNABLE OR TRANSFERABLE, MAY NOT BE REISSUED WITHOUT RE-SURVEY AND MAY BE VOID/INVALID SUBJECT TO CHANGES IN GOVERNANCE OR INTERPRETATIONS ISSUED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND MAY NOT BE COPIED OR PROVIDED TO OTHER PARTIES WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE UNDERSIGNED.

JEFFREY A. WOOD  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 NO. 6220, STATE OF TEXAS  
 FIRM CERTIFICATE NO. 101011-00  
 DATE: APRIL 2, 2025



- NOTE:**
- 1) BEARING SOURCE: BEARINGS BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NAD-83
  - 2) ELEVATIONS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
  - 3) STORM AND SEWER MANHOLES ARE LOCKED, AND ACCESS COULD NOT BE OBTAINED.
  - 4) ALL IRON RODS SET ARE CAPPED WITH PLASTIC CAPS STAMPED "MTG ENG"
  - 5) SURVEY PREPARED WITHOUT THE BENEFIT OF TITLE COMMITMENT, SURVEYOR DID NOT RESEARCH EASEMENTS OF RECORDED OR NOT OF RECORDED.

<b>BOUNDARY SURVEY</b>		<b>MTG</b> ENGINEERS & SURVEYORS
S.R. BARNES HEADRIGHT SURVEY ABSTRACT NO. 13 FOR: MAKEWAY LLC		
Drawn By JB	Checked By JW	Project No. 250033
Dwg. Date 04/02/2025	File No. 250033	Sheet No. 250033





CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A SPECIFIC USE PERMIT (SUP) FOR A DAYCARE FACILITY EXCEEDING THE MAXIMUM BUILDING SIZE IN A NEIGHBORHOOD SERVICES (NS) DISTRICT FOR A 2.751-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-04 OF THE S. R. BARNES SURVEY, ABSTRACT NO. 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Lisa Brooks and Rene'e Holland of Makeway, LLC for the approval of a *Specific Use Permit (SUP)* for a *Daycare Facility Exceeding the Maximum Building Size in a Neighborhood Services (NS) District* on a 2.751-acre tract of land identified as Tract 1-04 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the southeast corner of the intersection of John King Boulevard and Quail Run Road, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to *Exceed the Maximum Building Size in a Neighborhood Services (NS) District* in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.03, *Neighborhood Services (NS) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Daycare Facility that Exceeds the Maximum Building Size in a Neighborhood Services (NS) District* and conformance to these operational conditions are required:

- 1) The development of a *Daycare Facility* on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The development of the subject property shall generally conform to the Conceptual Building Elevations contained in *Exhibit 'C'* of this ordinance; however, the proposed *Daycare Facility* shall be subject to all of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). Review for conformance to these requirements shall be completed with the site plan submittal. In addition, a recommendation by the Architecture Review Board (ARB) shall be required prior to approval of the building elevations by the Planning and Zoning Commission. The approval of this Specific Use Permit (SUP) shall not constitute the approval of variances or exceptions to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Daycare Facility*.
- 3) A 20-foot landscape buffer with three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) is required along E. Old Quail Run Road.
- 4) The proposed *Daycare Facility* shall not exceed 11,200 SF.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

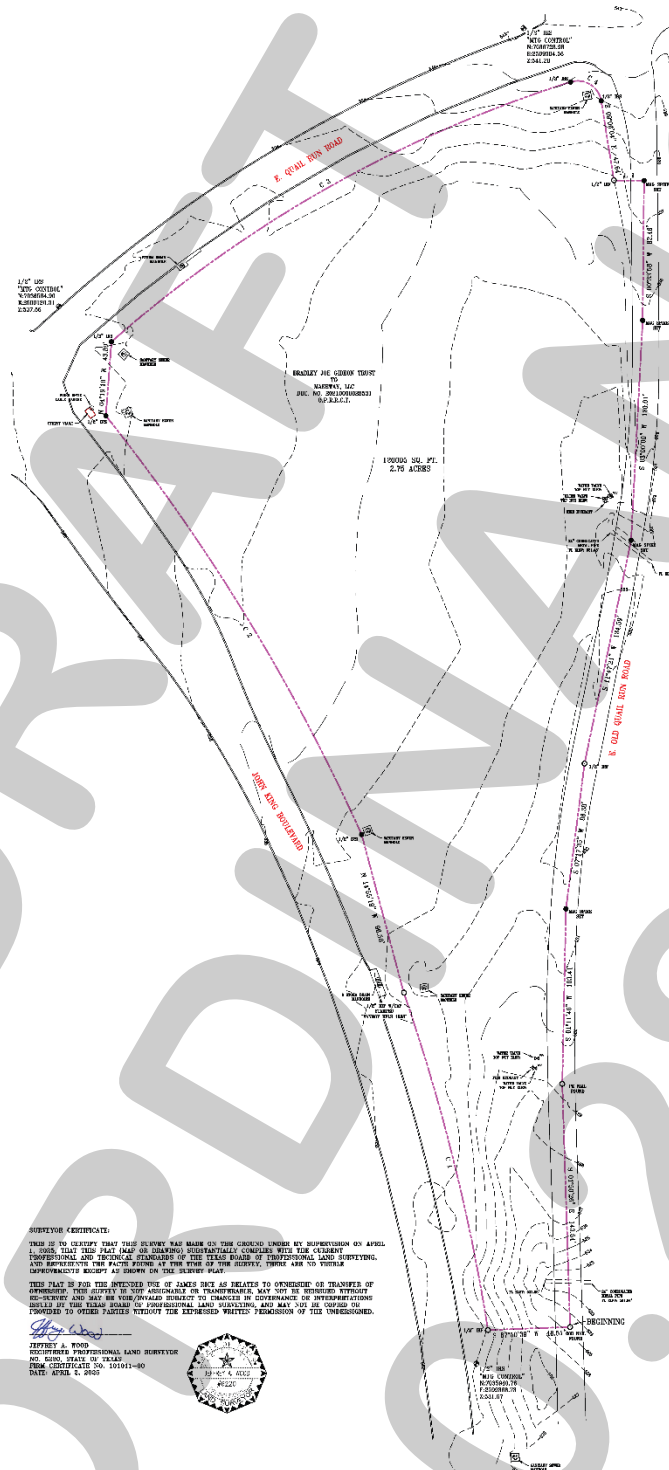
2<sup>nd</sup> Reading: December 1, 2025



# Exhibit 'A' Survey

S.R. BARNES HEADRIGHT SURVEY, ABSTRACT 13

LINE	BEARING	DISTANCE
1	2	3
1	S 89° 00' 00" W	48.01
2	S 19° 00' 00" W	20.00
3	S 89° 00' 00" W	48.01
4	S 19° 00' 00" W	20.00
5	S 89° 00' 00" W	48.01
6	S 19° 00' 00" W	20.00
7	S 89° 00' 00" W	48.01
8	S 19° 00' 00" W	20.00
9	S 89° 00' 00" W	48.01
10	S 19° 00' 00" W	20.00



**PROPERTY DESCRIPTION**  
12000 SQ. FT.  
270 ACRES  
CITY OF ROCKWALL, ROCKWALL COUNTY

All that certain lot, tract or parcel of land situated in the S.R. Barnes Headright Survey, City of Rockwall, Tarrant County, Texas, and being all of the land within the boundaries of the said Headright Survey, as shown on the official Public Records of Rockwall County, Texas (hereinafter called "Subject Tract") and being more particularly described by meter and bounds as follows:

BOUNDARY as a 1/2" iron rod found for a corner lying to the East of the Quail Run Road, said corner being the Southern corner of the said Subject Tract and to outside of the Quail Run Road.

TRVERSE S 89 deg. 00 min. 00 sec. W a distance of 48.01 feet along the North Right-of-Way line of the said Quail Run Road and the West line of the said Subject Tract to a 1/2" iron rod found for a corner at the beginning of a circular curve to the left, said corner being the Southern corner of the said Subject Tract.

TRVERSE is a Northwesterly direction along the arc of the said circular curve to the left a distance of 200.00 feet with a radius of 118.00 feet, a central angle of 10 deg. 10 min. 10 sec., a chord bearing of N 19 deg. 01 min. 14 sec. W, and a chord distance of 200.00 feet along the North Right-of-Way line of the said Quail Run Road and the West line of the said Subject Tract to a 1/2" iron rod found for a corner at the end of the said circular curve to the left.

TRVERSE N 14 deg. 05 min. 10 sec. W a distance of 36.00 feet along the North Right-of-Way line of the said Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set with plastic cap stamped "MTG ENG" an (hereinafter called 1/2" iron rod set) for a corner at the beginning of a circular curve to the left.

TRVERSE is a Northwesterly direction along the arc of the said circular curve to the left a distance of 340.00 feet with a radius of 170.00 feet, a central angle of 14 deg. 12 min. 20 sec., a chord bearing of N 19 deg. 01 min. 14 sec. W, and a chord distance of 340.00 feet along the North Right-of-Way line of the said Quail Run Road and the West line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the left.

TRVERSE N 14 deg. 18 min. 10 sec. E a distance of 48.89 feet along the North Right-of-Way line of the said Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at the intersection of the East Right-of-Way line of the said Quail Run Road and the South Right-of-Way line of the said Quail Run Road and at the beginning of a circular curve to the right, said corner being the Northwest corner of the said Subject Tract.

TRVERSE is a Northwesterly direction along the arc of the said circular curve to the right a distance of 315.00 feet with a radius of 157.50 feet, a central angle of 23 deg. 23 min. 00 sec., a chord bearing of N 40 deg. 01 min. 00 sec. E, and a chord distance of 315.00 feet along the North Right-of-Way line of the said Quail Run Road and the North line of the said Subject Tract to a 1/2" iron rod set for a corner at the end of the said circular curve to the right.

TRVERSE S 80 deg. 06 min. 04 sec. E a distance of 47.84 feet along the North Right-of-Way line of the said Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 80 deg. 02 min. 02 sec. E a distance of 17.76 feet along the North Right-of-Way line of the said Quail Run Road and the North line of the said Subject Tract to a 1/2" iron rod set for a corner lying to the northeast corner of the said Subject Tract.

TRVERSE S 80 deg. 25 min. 02 sec. W a distance of 82.43 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 80 deg. 00 min. 00 sec. W a distance of 158.81 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 87 deg. 17 min. 20 sec. W a distance of 66.28 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 87 deg. 10 min. 00 sec. W a distance of 100.00 feet along the said E. Quail Run Road and the East line of the said Subject Tract to a 1/2" iron rod set for a corner at an angle point.

TRVERSE S 91 deg. 20 min. 20 sec. E a distance of 148.14 feet to the POINT OF BEGINNING and commencing thence thence for 270 acres of land.

**SURVEYOR CERTIFICATE**

THIS IS TO CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION ON APRIL 1, 2025, THAT THIS PLAN (MAP OR GRAPHS) SUBSTANTIALLY COMPLES WITH THE CURRENT PROFESSIONAL AND TECHNICAL STANDARDS OF THE TITLE BOARD OF PROFESSIONAL LAND SURVEYING AND SURVEYORS THE FACTS AT THE TIME OF THE SURVEY, THERE ARE NO OTHER APPROPRIATE EXCEPT AS SHOWN ON THE SURVEY.

THIS PLAN IS FOR THE PURPOSE OF THE STATE AS RELATES TO OPENING OR TRANSFER OF INTERESTS. THIS SURVEY IS NOT APPLICABLE TO TRANSMISSIONS, MAY NOT BE REPRODUCED WITHOUT PERMISSION AND MAY BE REPRODUCED SUBJECT TO CHANGES IN CONFORMANCE OF REVISIONS REQUIRED BY THE TITLE BOARD OF PROFESSIONAL LAND SURVEYING AND SURVEYORS OR MAY BE FORWARDED TO OTHER PARTIES THROUGH THE DEPOSED WRITING, TRANSMISSION OF THE UNDERSIGNED.

**JEFFREY A. POOD**  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 4000, EXPIRES 09/30/2028  
REG. CERTIFICATE NO. 101011-80  
DATE: APRIL 1, 2025

- NOTES**
- 1) BEARING ANGLES MEASURED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS STATE CENTRAL ZONE 42E, NAD-83
  - 2) MEASUREMENTS MADE FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (VDAT88)
  - 3) STONE AND IRON MARKERS AND SIGNALS, AND ANGLES WOULD NOT BE RECORDED
  - 4) ALL THESE NOTES ARE TO BE KEPT WITH THESE PLANS AND SURVEY, THIS PLAN
  - 5) SURVEY PREPARED PURSUANT TO THE RESULTS OF A TITLE COMMITMENT, EXCEPT THE NOT RECORDED EXEMPTIONS BE RECORDED OR NOT IN RECORDS.

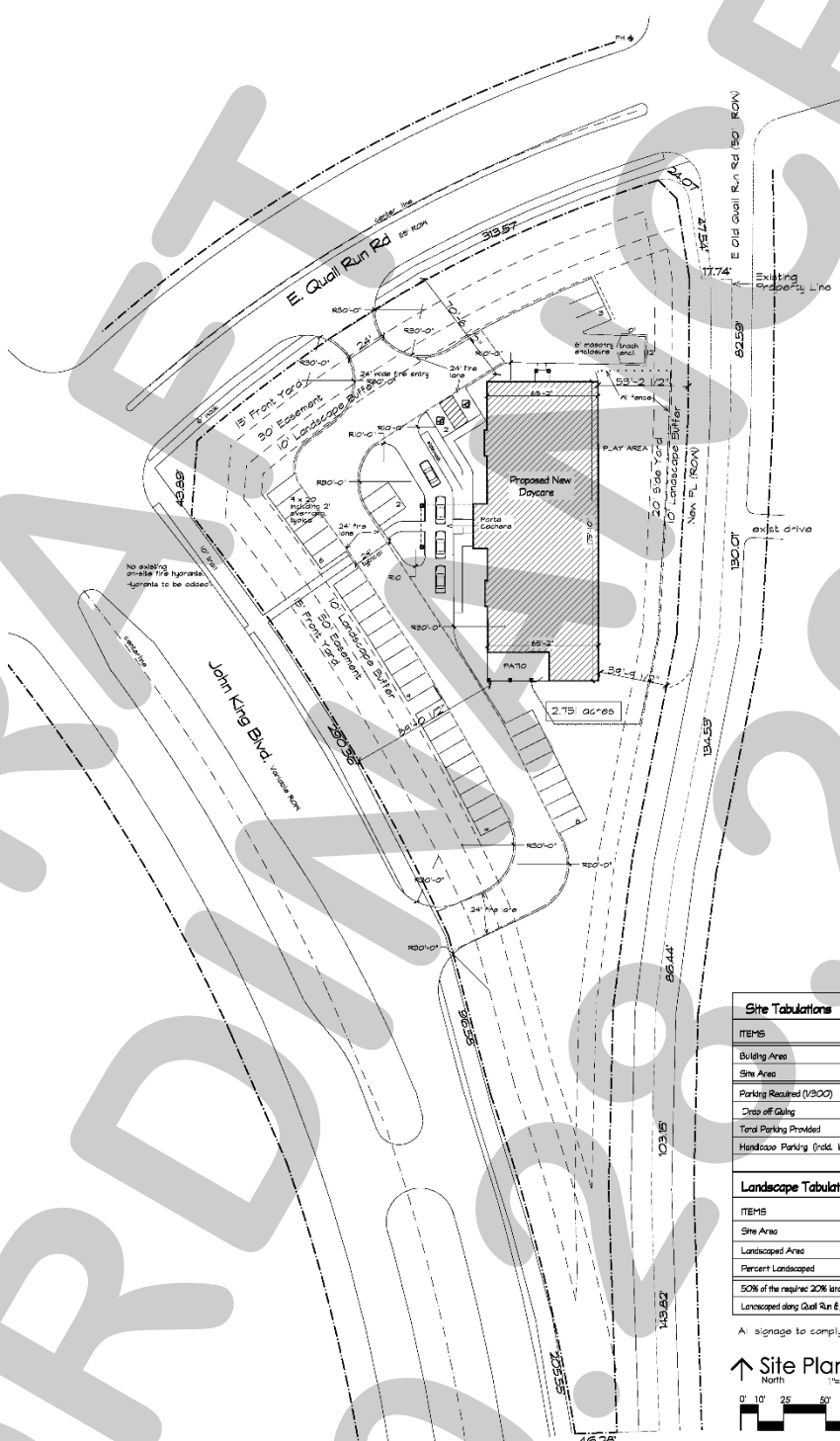
**BOUNDARY SURVEY**  
S.R. BARNES HEADRIGHT SURVEY  
JEFFREY A. POOD  
FOR MTG ENGINEERS & SURVEYORS, L.P.

**MTG ENGINEERS & SURVEYORS**  
3171 W. STATE ST. SUITE 100  
DALLAS, TEXAS 75243  
PHONE: 214.343.8888  
FAX: 214.343.8889  
WWW.MTG-ENGINEERS.COM

DATE: 04/01/2025  
JOB NO: 20013

Z2025-067, Special Use Permit (SOP) for a  
Daycare Facility  
Ordinance No. 25-XX, S-3XX

**Exhibit 'B'**  
**Concept Plan**

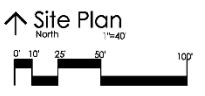


Site Tabulations	
ITEMS	
Building Area	11,114 sq.ft.
Site Area	119,877 sq.ft.
Parking Required (1/300)	37
Cross off Quail	4
Total Parking Provided	39 + 4
Handicap Parking (req'd. in total)	2

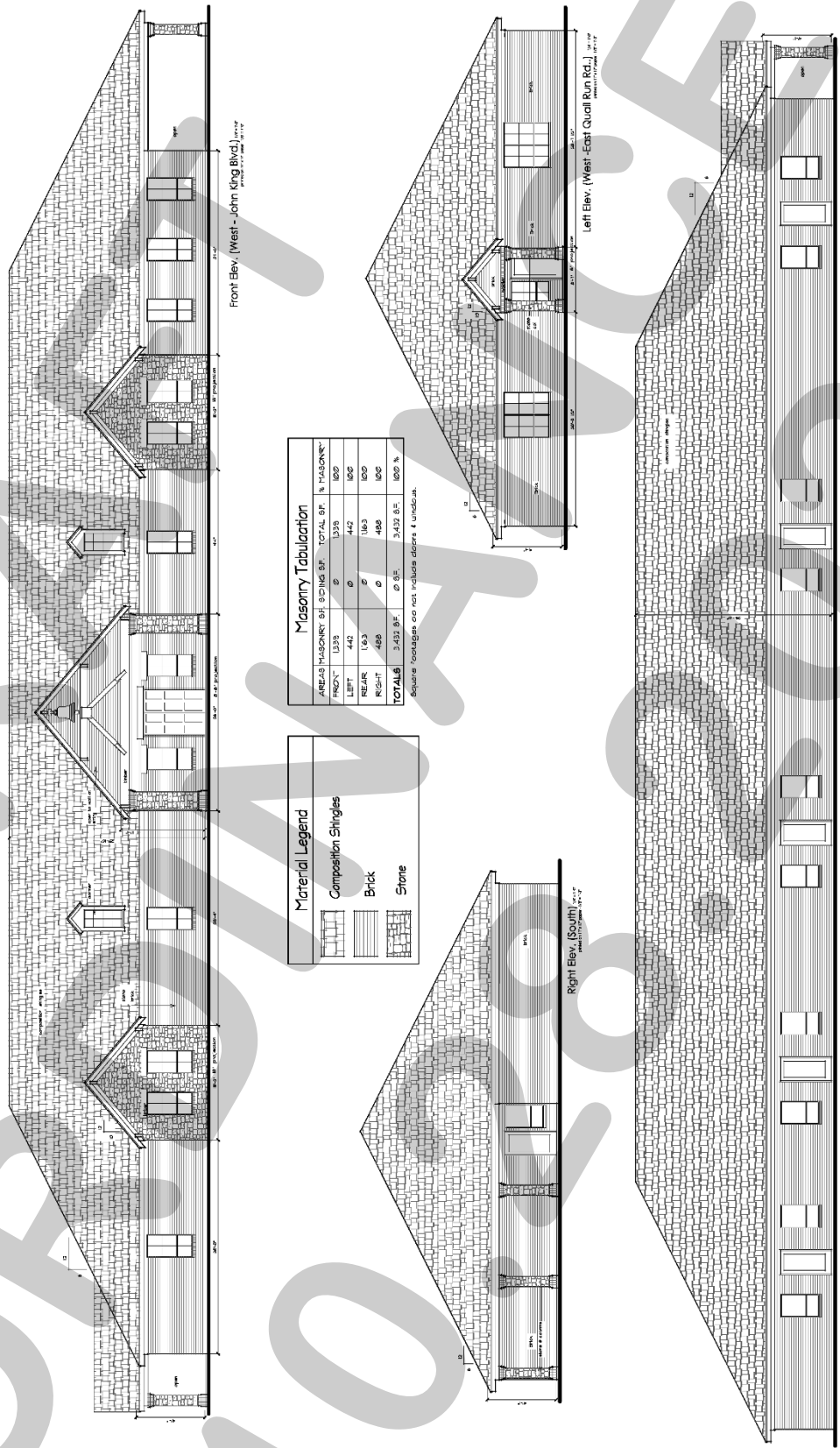
Landscape Tabulations	
ITEMS	
Site Area	119,877 sq.ft.
Landscape Area	63,381 sq.ft.
Percent Landscaped	69.5 %
50% of the required 20% landscaping	1,858 sf
Landscaped along Quail Run & John King	32,195

All signage to comply with zoning ordinance.



# Exhibit 'C'

## Building Elevations







# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 11, 2025  
**APPLICANT:** Randy Lee Aragon  
**CASE NUMBER:** Z2025-068; *Specific Use Permit (SUP) for a Recording Studio*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a *Recording Studio* on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

### BACKGROUND

On September 27, 1861, the subject property was established as a portion of Lots 2 & 3, Block S, Rockwall OT Addition. According to the Rockwall Central Appraisal District (RCAD) the existing 2,000 SF building was constructed in 1950. According to the January 3, 1972 historic zoning map the subject property was zoned General Retail (GR) District. On September 4, 2007, the subject property was rezoned from a General Retail (GR) District to the Downtown (DT) District.

### PURPOSE

The applicant -- *Randy Lee Aragon* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Recording Studio* to be established on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 206 E. Washington Street. The land uses adjacent to the subject property are as follows:

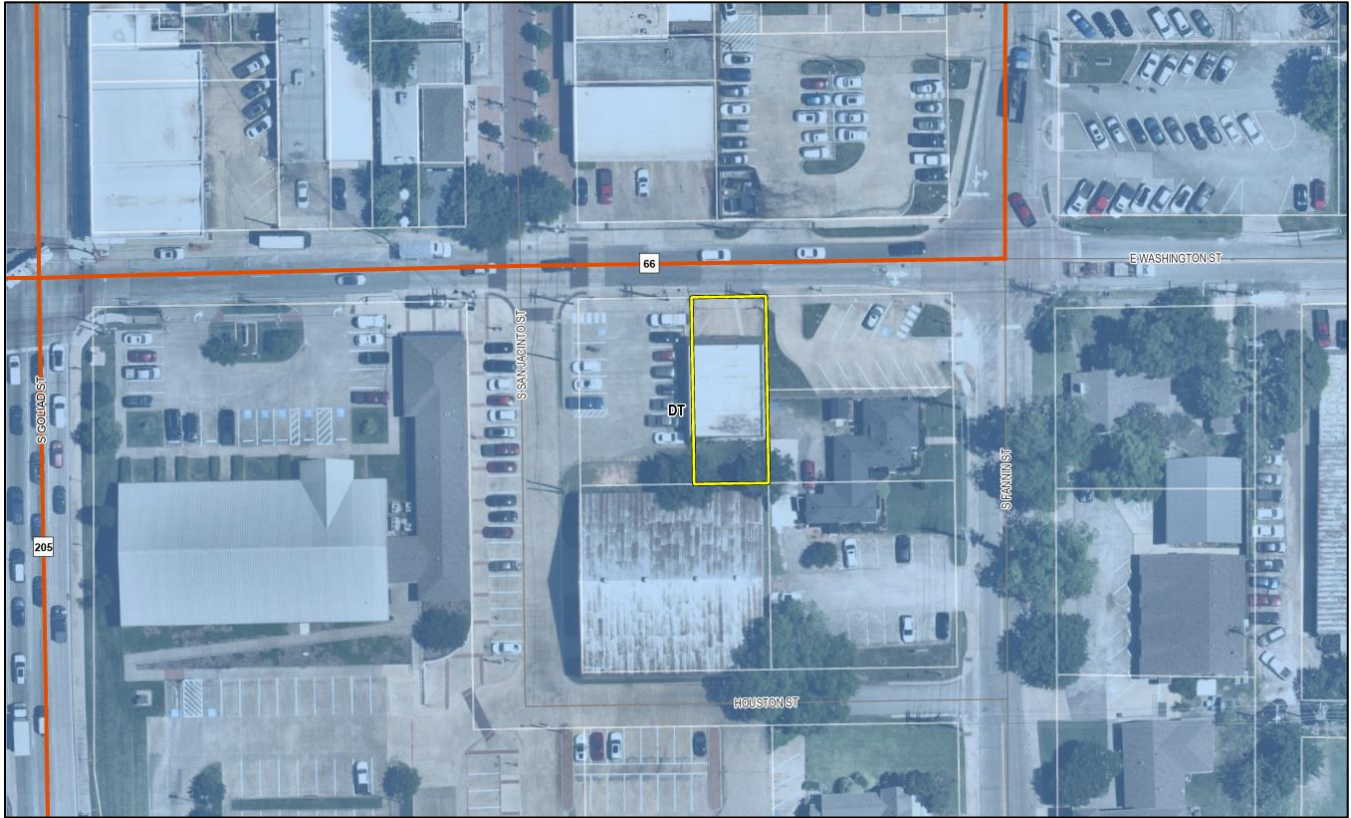
North: Directly north of the subject property is E. Washington Street [SH-66], which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.270-acre parcel of land (*i.e. part of Lot 5 and Lots 7 & 7, Block L, Rockwall OT Addition*) developed as a public parking lot. Following this are several parcels of land developed with retail and restaurant land uses. All of these properties are zoned Downtown (DT) District.

South: Directly south of the subject property is a 0.230-acre tract of land (*i.e. Lots 6 & 7, Block S, Rockwall OT Addition*) developed with a vacant warehouse building. Beyond this is Houston Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 0.2296-acre parcel of land (*i.e. Lots 2 & 3, Block X, Rockwall OT Addition*) developed with a public parking lot. Both of these properties are zoned Downtown (DT) District.

East: Directly east of the subject property are two (2) parcels of land, one (1) parcel is (*i.e. Lot 1, Block S, Rockwall OT Addition*) developed with a public parking lot, and the other parcel (*i.e. Lot 4, Block S, Rockwall OT Addition*) is developed with an *Office/Retail Building*. Beyond this is S. Fannin Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 0.230-acre parcel of land (*i.e. Lots 1 & 2, Block T, Rockwall OT Addition*) developed with a *Retail Building*. All of these properties are zoned Downtown (DT) District.

West: Directly west of the subject property is a 0.140-acre parcel of land (i.e. Lots 2A & 2B, Block S, Rockwall OT Addition) developed with a public parking lot. Beyond this is S. San Jacinto Street, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 7.3545-acre parcel of land (i.e. Lot 1, Block 1, Rockwall City Hall Addition) developed with The Center and City Hall.

MAP 1: LOCATION MAP  
**YELLOW:** SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application, a survey, and a letter of explanation detailing the request for a *Recording Studio* on the subject property. The applicant has indicated that the existing building has a room that is already equipped to serve as a *Recording Studio*. This space was previously utilized by the previous business (i.e. *School of Rock*) to provide music lessons. In addition, the applicant has indicated that given that the subject property was utilized previously as a similar use, they feel like their request does not increase the impact on adjacent properties.

### **CONFORMANCE WITH THE CITY'S CODES**

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Recording Studio* requires a Specific Use Permit (SUP) in the Downtown (DT) District. According to Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applicants and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In addition, Subsection 02.02(K)(15), *Recording Studio*, of Article 13, *Definitions*, of the Unified Development Code (UDC), states that a *Recording Studio* is a "...facility that provides an environment for the purposes of writing, collaborating, performing, instruction, preparing, or completing audio recordings." In this case, the applicant's request conforms to the definition provided by the Unified Development Code (UDC), and therefore is required to request approval of a Specific Use Permit (SUP).

According to Subsection 04.07, *Downtown (DT) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all required parking shall be provided on site or with on-street parking that is directly in front of the site. In addition, according to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *Music Studio -- and Recording Studio --* is required to provide one (1) parking space per 250 SF of building area. In this case, there is not any parking available on site, or along E. Washington Street [SH-66]. That being said, the parking demands required for the applicant and the prior business (*i.e. School of Rock*) do not change and therefore new parking is not required.

### **STAFF ANALYSIS**

According to the OURHometown Vision 2040 Comprehensive Plan, the *Downtown District* is the “...cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall.” Based on this, the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) restricts the permitted land uses in the Downtown (DT) District and requires a Specific Use Permit (SUP) that may be incompatible. In this case, a *Recording Studio* requires the approval of a Specific Use Permit (SUP) in the Downtown (DT) District. Prior to the applicant lease of the subject property, the established land use was a *Music Studio* operated by the School of Rock. The applicant has indicated that the subject property will continue to be used as a *Music Studio*; however, the applicant would also like to provide a *Recording Studio* as part of their business operations. Given that a *Music Studio* and a *Recording Studio* operate in similar manners, the proposed request does not appear to increase the impact on adjacent properties. With all that being said, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On October 22, 2025, staff mailed 134 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Bent Creek Condos and Stonebridge Meadows Homeowners Association (HOA), which are the only HOA’s or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received any notices in regard to the applicant’s request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *Specific Use Permit (SUP)* for a *Recording Studio* then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 206 E Washington St.

SUBDIVISION \_\_\_\_\_ LOT 213 BLOCK 5

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE music & office

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE Add Recording Studio

ACREAGE .012 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Kevin Lafere</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Randy Lee Aragon</u>
CONTACT PERSON	<u>klafere@zanatas.com</u>	CONTACT PERSON	<u>Randy Lee Aragon</u>
ADDRESS	_____	ADDRESS	<u>206 E Washington</u>
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	<u>Rockwall, TX, 75087</u>
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

### NOTARY VERIFICATION [REQUIRED]

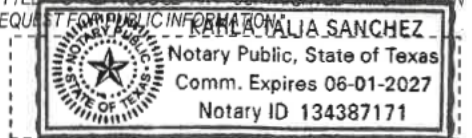
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Lafere [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF October, 2025

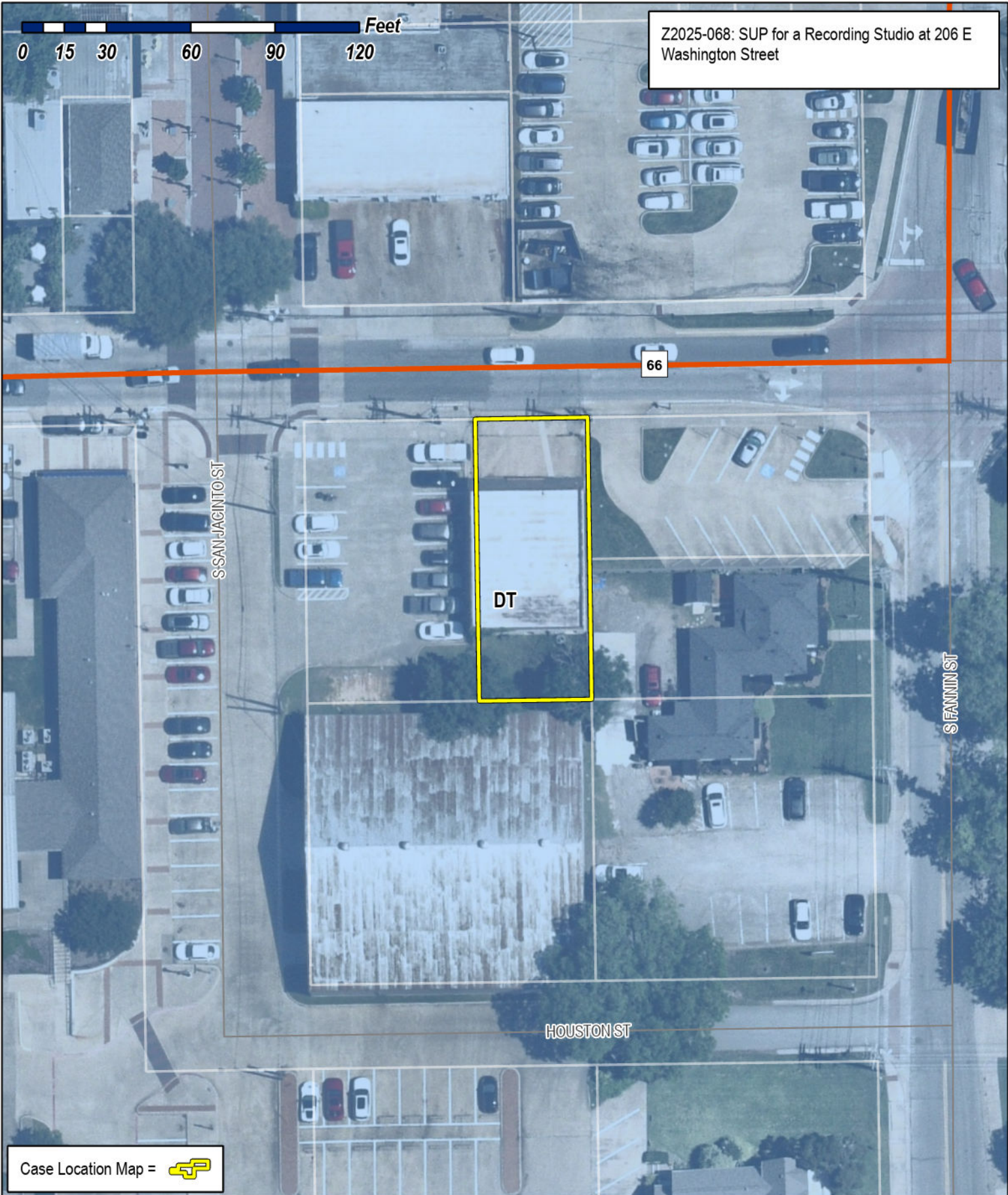
OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 6-1-27





Z2025-068: SUP for a Recording Studio at 206 E Washington Street

DT

HOUSTON ST

S SAN JACINTO ST

S FANNIN ST

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



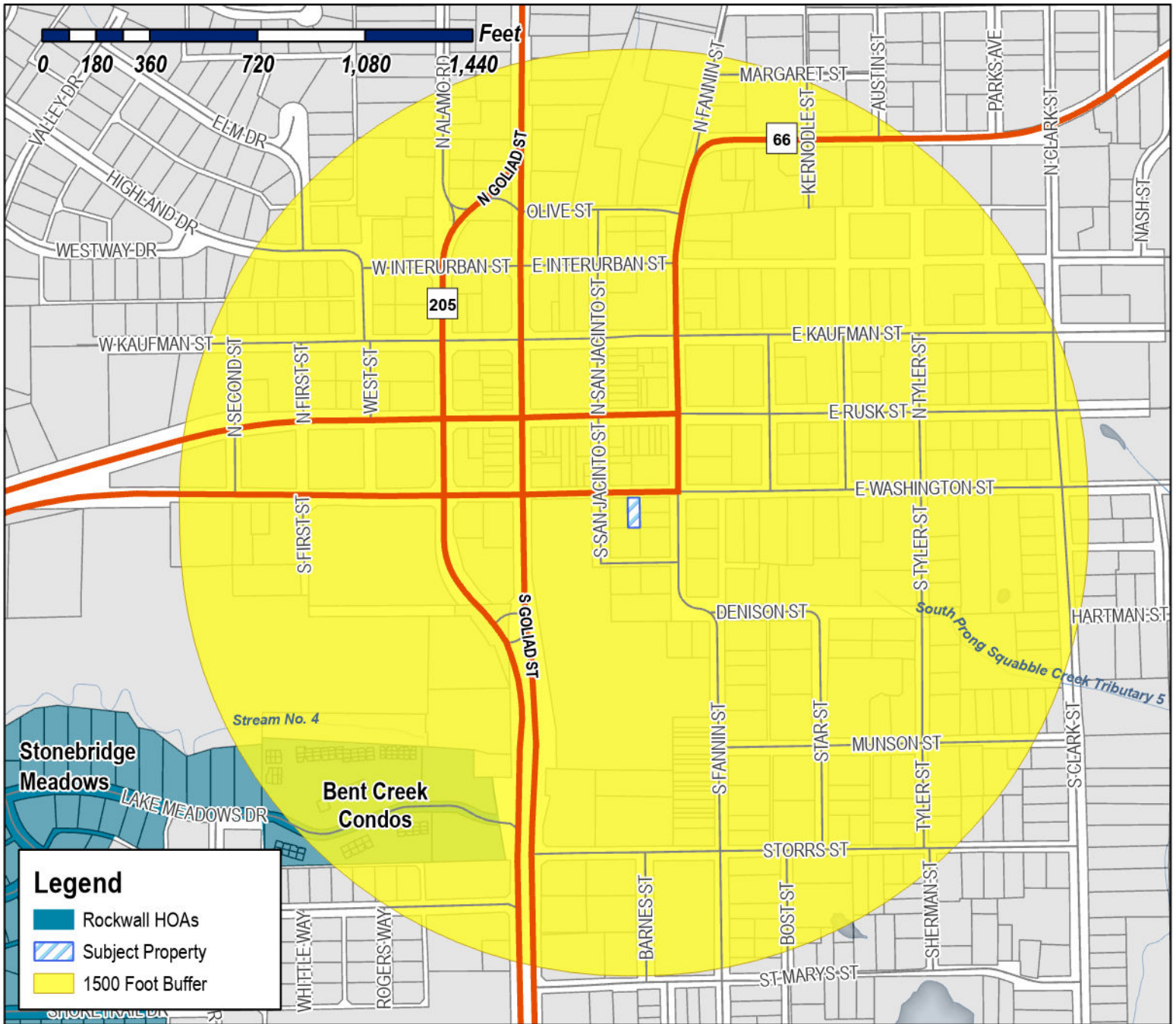




# City of Rockwall

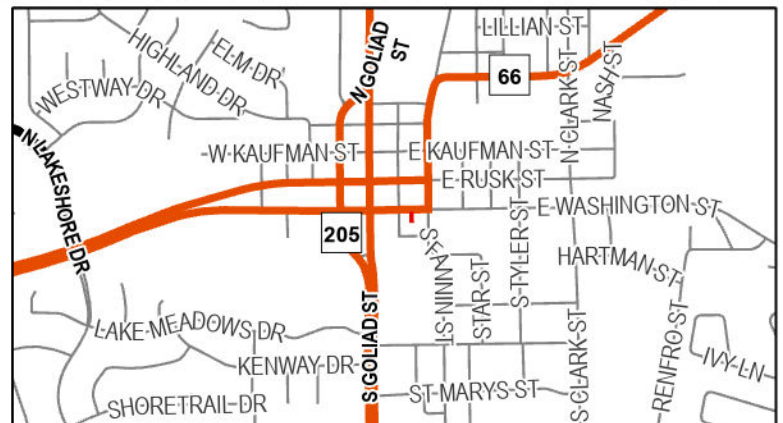
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-068  
**Case Name:** SUP for a Recording Studio  
**Case Type:** Zoning  
**Zoning:** Downtown (DT) District  
**Case Address:** 206 E Washington Street

**Date Saved:** 10/17/2025  
 For Questions on this Case Call (972) 771-7745





## Miller, Ryan

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, October 22, 2025 12:37 PM  
**Cc:** Miller, Ryan; Lee, Henry; Ross, Bethany  
**Subject:** Neighborhood Notification Program [Z2025-068]  
**Attachments:** Public Notice (10.20.2025).pdf; HOA Map (10.17.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2025-068: SUP for a Recording Studio**

Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a *Specific Use Permit (SUP)* to allow a *Recording Studio* on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

Thank you,

*Melanie Zavala*

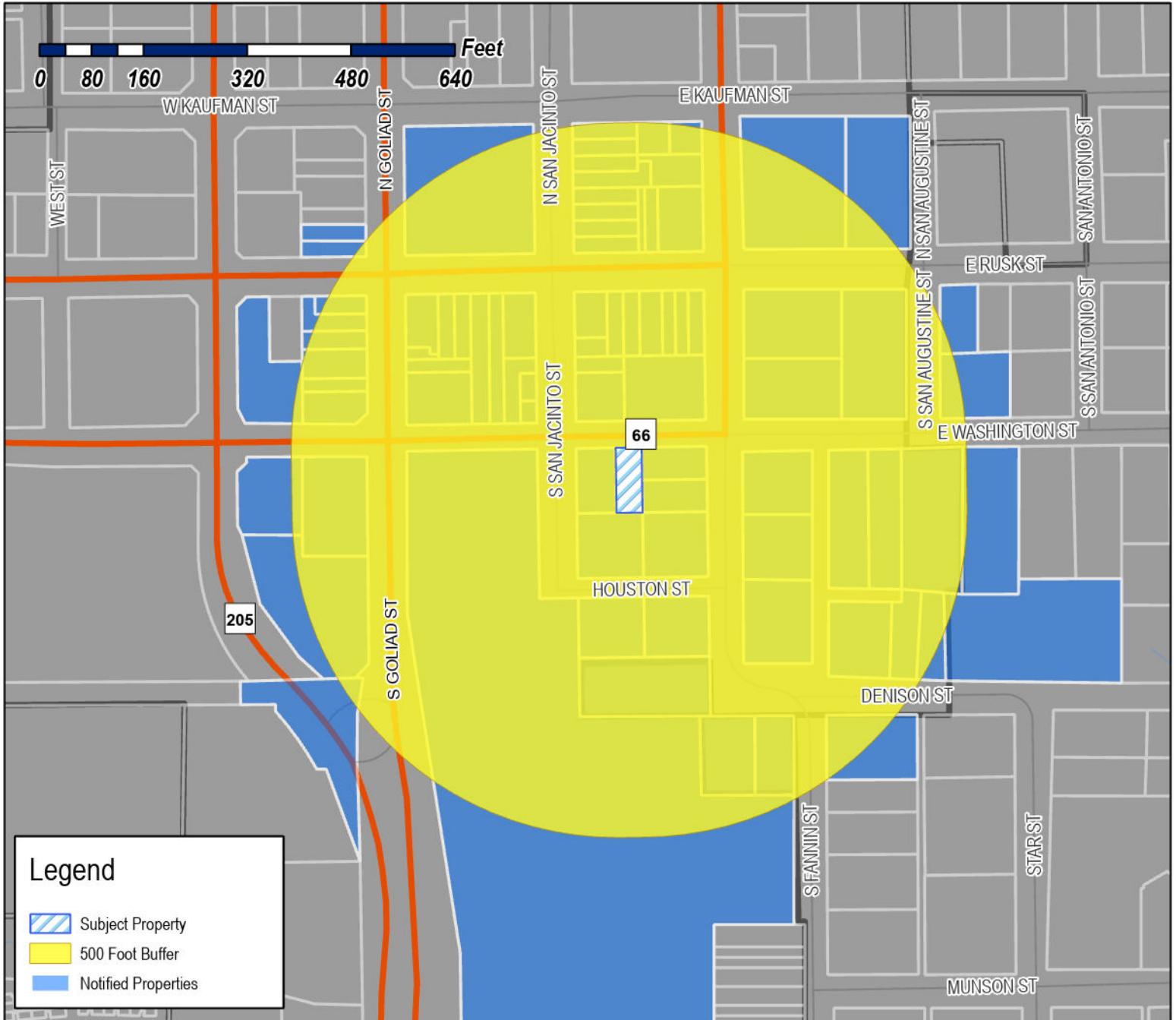
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](http://www.rockwalltx.gov/planning-zoning)  
972-771-7745 Ext. 6568



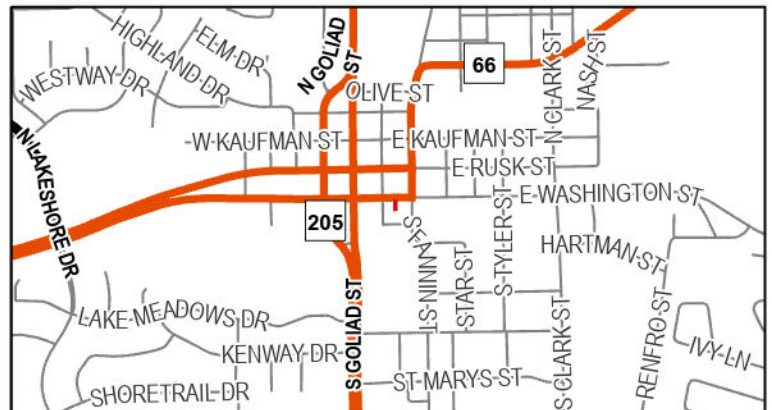
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-068  
**Case Name:** SUP for a Recording Studio  
**Case Type:** Zoning  
**Zoning:** Downtown (DT) District  
**Case Address:** 206 E Washington Street



**Date Saved:** 10/17/2025

For Questions on this Case Call: (972) 771-7745

RESIDENT  
101 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
101 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
101 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
101 S FANNIN ST  
ROCKWALL, TX 75087

LATHAM MARK  
1010 RIDGE ROAD COURT  
ROCKWALL, TX 75087

RESIDENT  
102 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
102 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
102 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
102 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
103 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
103 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
103 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
104 N SAN JACINTO  
ROCKWALL, TX 75087

MASONIC LODGE  
C/O JERRY FOUST  
104 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
105 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
105 W WASHINGTON  
ROCKWALL, TX 75087

SKY 306 E WASHINGTON SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SKY 101 N GOLIAD SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SKY 103 N GOLIAD SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SKY 106 E RUSK SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SKY 101 S FANNIN SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SKY 111-115 S GOLIAD SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SKY 2- 109 S GOLIAD SERIES LLC, A SERIES OF  
SKY ASSET HOLDINGS 2 LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

SITST 114 E RUSK SERIES LLC  
106 E Rusk St Ste 200  
Rockwall, TX 75087

RESIDENT  
106 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
106 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
106 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
107 S GOLIAD  
ROCKWALL, TX 75087

GMDR PROPERTIES LLC  
107 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
108 FANNIN ST  
ROCKWALL, TX 75087



RESIDENT  
108 SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
108 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
108 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
108 S SAN JACINTO  
ROCKWALL, TX 75087

ASHMOREX2, LLC  
108 S SAN JACINTO ST  
ROCKWALL, TX 75087

RESIDENT  
109 E WASHINGTON  
ROCKWALL, TX 75087

112 E RUSK ST LLC  
109 ELM CREST DR  
ROCKWALL, TX 75087

RESIDENT  
109 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
110 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
110 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
110 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
111 W RUSK  
ROCKWALL, TX 75087

RESIDENT  
112 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
112 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
114 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
114 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
115 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
116 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
116 N SAN JACINTO  
ROCKWALL, TX 75087

HUGHES THOMAS P  
1209 S LAKESHORE DR  
ROCKWALL, TX 75087

TOVAR JOSE G & FELIPA  
1269 S. MUNSON RD  
ROYSE CITY, TX 75189

DIVINE PEACE EVANGELICAL LUTHERAN  
CHURCH  
A TEXAS NON-PROFIT CORPORATION  
1346 PLEASANT VALLEY ROAD  
GARLAND, TX 75040

GROOVYS BUSINESS PROPERTIES LLC  
138 SAWGRASS DR  
ROCKWALL, TX 75032

JOHNSON GREGORY DON AND SANDRA  
1390 GOLD COAST DR  
ROCKWALL, TX 75087

HEFFERNAN MARILYN  
1480 BLUEBELL DRIVE  
ESTES PARK, CO 80517

HEFFERNAN MARILYN  
1480 BLUEBELL DRIVE  
ESTES PARK, CO 80517

FOX WILLIAM G & ALISON L  
1601 BAY CREST TRL  
HEATH, TX 75032

JS2 PROPERTIES LLC  
1717 Main St Ste 2950  
Dallas, TX 75201

JS2 PROPERTIES LLC  
1717 Main St Ste 2950  
Dallas, TX 75201

ROBERSON RAY ETUX  
201 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
201 E WASHINGTON  
ROCKWALL, TX 75087

VS ROWLETT, LLC  
202 E RUSH ST  
ROCKWALL, TX 75087

RESIDENT  
202 E RUSK  
ROCKWALL, TX 75087

Z ROCK BUILDING LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
202 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
202 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
203 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
203 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
204 E KAUFMAN  
ROCKWALL, TX 75087

WILLESS LADONA  
204 S FANNIN ST  
ROCKWALL, TX 75087

WILLESS LADONA  
204 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
205 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
206 E WASHINGTON ST  
ROCKWALL, TX 75087

RESIDENT  
206 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
206.5 E RUSK  
ROCKWALL, TX 75087

HALL J BLAKELEY  
207 E RUSK ST  
ROCKWALL, TX 75087

GARLAND FRENCH PEAR LLC  
C/O STEPHEN HARRY HOEGGER  
2082 QUAIL RUN ROAD  
WYLIE, TX 75098

PRUITT JAMES PRESTON  
209 Stonebridge Dr  
Rockwall, TX 75087

RESIDENT  
210 HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
210 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
210 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
212 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
213 E RUSK  
ROCKWALL, TX 75087

TURNER V H  
214 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
216 E RUSK  
ROCKWALL, TX 75087

EXODUS 314 INVESTMENTS LLC  
221 BLUE HERON LN  
HEATH, TX 75032

ROCKWALL MERCANTILE LTD  
2255 Ridge Rd Ste 208  
Rockwall, TX 75087

RESIDENT  
301 DENNISON  
ROCKWALL, TX 75087

RESIDENT  
302 S FANNIN ST  
ROCKWALL, TX 75087

PEOPLES BILLY W  
302 S GOLIAD ST  
ROCKWALL, TX 75087

TOVAR JUSTINO & ADELINA  
303 DENISON ST  
ROCKWALL, TX 75087

TOVAR JUSTINO ET UX  
303 DENISON ST  
ROCKWALL, TX 75087

RESIDENT  
303 E RUSK  
ROCKWALL, TX 75087

ERUDITE INCORPORATED  
305 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
305 S FANNIN ST  
ROCKWALL, TX 75087

DEWAYNE CAIN CHILD'S TRUST, DEWAYNE  
CAIN-TRUSTEE, AMY DAWN CAIN 2012 L  
PAT BEAIRD-TRUSTEE, CHRISTOPHER PAUL CAIN  
2012 LONG TERM TRU  
305 STONEBRIDGE DRIVE  
ROCKWALL, TX 75087

DEWAYNE CAIN CHILD'S TRUST, DEWAYNE  
CAIN-TRUSTEE, AMY DAWN CAIN 2012 L  
PAT BEAIRD-TRUSTEE, CHRISTOPHER PAUL CAIN  
2012 LONG TERM TRU  
305 STONEBRIDGE DRIVE  
ROCKWALL, TX 75087

TRINITY HARBOR CHURCH  
306 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
306 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
306 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
306 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
308 E WASHINGTON  
ROCKWALL, TX 75087

GSJ PROPERTIES LLC  
308 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
308 S FANNIN ST  
ROCKWALL, TX 75087

HUMPHREY GARY B ET UX  
310 E WASHINGTON ST  
ROCKWALL, TX 75087

RESIDENT  
310 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
311 DENISON ST  
ROCKWALL, TX 75087

CAFFEY MICHAEL M  
311 S FANNIN ST  
ROCKWALL, TX 75087

ROBERT COOK ESTATE  
C/O ALICIA COOK  
3727 N TOWN EAST BLVD APT 77  
MESQUITE, TX 75150

RESIDENT  
385 S GOLIAD  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

WELCH DAVID T & TERRY E  
401 E WASHINGTON STREET  
ROCKWALL, TX 75087

RESIDENT  
402 E RUSK  
ROCKWALL, TX 75087

KILPATRICK KENDRA  
402 E WASHINGTON ST  
ROCKWALL, TX 75087

SHIPLEY ZACHARY S AND  
JASON SHIPLEY  
412 RENFRO ST  
ROCKWALL, TX 75087

RUTH DIANE RUSSELL TRUST  
RUTH DIANE RUSSELL- TRUSTEE  
500 WILLIAMS ST  
WAXAHACHIE, TX 75165

105 WEST WASHINGTON LLC  
502 TERRY LANE  
HEATH, TX 75032

SMITH ROBERT & MARY SUE  
502 W RUSK ST  
ROCKWALL, TX 75087

GRAY PEGGY JO  
521 KATHY DR  
MESQUITE, TX 75149

ROCKWALL 4 LLC  
5818 PORTSMOUTH LANE  
DALLAS, TX 75252



HENDRICKS 7 PROPERTIES LLC SERIES 3  
5903 VOLUNTEER PLACE  
ROCKWALL, TX 75032

HENDRICKS 7 PROPERTIES LLC SERIES1  
5903 VOLUNTEER PLACE  
ROCKWALL, TX 75032

HENDRICKS 7 PROPERTIES LLC SERIES 2  
5903 VOLUNTEER PLACE  
ROCKWALL, TX 75032

ODOM JAY  
601 N FANNIN ST  
ROCKWALL, TX 75087

KING PACIFIC INC  
8100 GREENSBORO DR  
PLANO, TX 75025

SHIELDS MICHAEL L  
811 S ALAMO RD  
ROCKWALL, TX 75087

SANCHES MANUEL R AND MARIA DEL CARMEN  
SANCHEZ  
912 REFLECTION CT  
ROCKWALL, TX 75032

SANCHES MANUEL R AND MARIA DEL CARMEN  
SANCHEZ  
912 REFLECTION CT  
ROCKWALL, TX 75032

JO SUNGRAE  
960 MIDNIGHT PASS  
ROCKWALL, TX 75087

COUNTY OF ROCKWALL  
COURTHOUSE  
ROCKWALL, TX 75087

ONCOR ELECTRIC DELIVERY COMPANY  
PO BOX 139100  
DALLAS, TX 75313

CHRIST FOR INDIA  
PO BOX 271086  
DALLAS, TX 75227

ROCKWALL LIONS CLUB  
C/O OLIVER R SPILLER  
PO BOX 663  
ROCKWALL, TX 75087

COLLIN-G PROPERTIES LTD  
PO BOX 847  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-068: SUP to allow a Recording Studio**

*Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SUP) to allow a Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-068: SUP to allow a Recording Studio**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

### Z2025-068: SUP to allow a Recording Studio

Hold a public hearing to discuss and consider a request by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a Specific Use Permit (SU) Recording Studio on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County Downtown (DT) District, addressed as 206 E. Washington Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 12, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council C Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

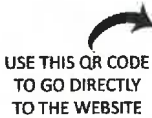
**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2025-068: SUP to allow a Recording Studio

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Name: Michael Coffey  
 Address: 311 S. Fernin

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change will not take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owner of the property or a majority of the owners of the property, and must be filed with the governing body within 30 days of the date of the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# ZONING & SPECIFIC USE PERMIT INFORMATION FORM



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

CASE NUMBER Z2025-068

**PLEASE PLACE A CHECK MARK ON THE APPROPRIATE LINE BELOW.**

- I am in favor of the request
- I am in opposition of the request

NAME Tom Susan Hughes

ADDRESS 306 S Fannin St, Rockwall, TX, 75087, USA

**PLEASE PROVIDE ANY ADDITIONAL INFORMATION CONCERNING YOUR SUPPORT OR OPPOSITION TO THE REQUEST.**

None

**PLEASE CHECK ALL THAT APPLY.**

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

**HOW DID YOU HEAR ABOUT THIS ZONING OR SPECIFIC USE PERMIT (SUP) REQUEST?**

- I received a property owner notification in the mail
- I read about the request on the City's website
- I saw a zoning sign on the property
- I read about the request in the Rockwall Herald Banner
- My neighbors told me about the request
- Other: Letter from City

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No.

Washington Street in the City of Rockwall

being described

as follows:

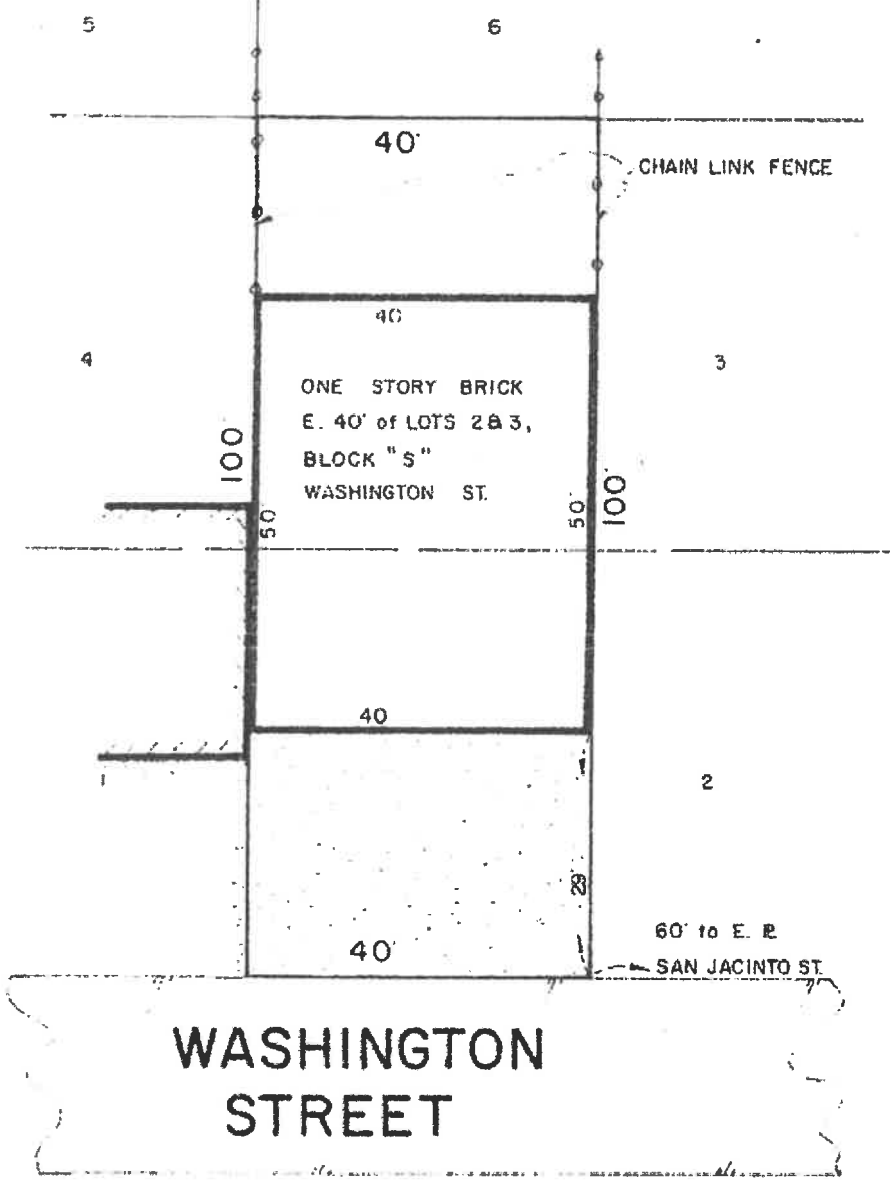
Lot No. East 40' of Lots 2 and 3, Block No. S, City Block No. \_\_\_\_\_

of Original Town of Rockwall, an addition to the City of Rockwall

Texas, according to the filed plot thereof recorded in Vol. 1, at page 555 of the Plat and Map

Map Deed Records of Rockwall County, Texas

*[Handwritten signatures and initials]*



The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements

## **RB's Sound House Recording Studio**

Dear Friends, Artists, and Dreamers,

My name is Randy Aragon, I'm a local musician and manager/bartender at The Downing Bottles and Bites. I've recently leased the building at 206 E Washington st.(the old school of rock building) from Kevin Lefere, with hopes of opening a recording studio for local artists that have no way of recording their music.

As of now, I have to drive over an hour back and forth just to find a good studio to record my music, which makes it really difficult when recording and releasing my own music. This is why I decided to lease the building and begin the journey of offering recording services.

This studio will be dedicated to professionally tracking and recording local artists of all ages — one at a time — giving each artist the full attention, focus, and respect their craft deserves. I want to give people in our community a real outlet to express themselves, to release their music to the world, and to grow as artists and as people. Every session is about more than making a song — it's about building community, confidence, connection, and creative freedom.

The room that I would like to make a recording studio is one room that sits in the back right corner of the building and is already completely sound proof due to the School of Rock using it for music lessons. We will offer an affordable way to book a recording session, record your music on top quality equipment, and have it mixed and mastered all in one.

Music has always been more than just sound to me — it's been a lifeline.

There were times in my life when darkness felt heavy, when words couldn't capture the pain or confusion I was carrying. But music did. It became my way to breathe again, to find purpose when things didn't make sense, and to connect with something greater than myself.

That's why I would like to open the Recording Studio — not just as a business, but as a safe space. A place where creativity becomes therapy, where sound becomes healing, and where anyone with a story to tell can walk in and feel understood.

Music saved me, and I believe it can save others too. It has the power to reach the parts of us that words alone can't. Whether you're recording your first song or your hundredth, my hope is that this space gives you the same sense of freedom and hope that music gives me.

I also plan to team up with the Music Directors at the local schools and other music based programs, to offer them a discounted rate for their students who have dreams of making music. There is also the potential for me to donate my time through the studio to local music programs, when they have school projects that require recording services for bands, choirs, and other music related endeavors.



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *RECORDING STUDIO* ON A 0.92-ACRE PARCEL OF LAND IDENTIFIED A PORTION OF LOTS 2 & 3, BLOCK S, ROCKWALL OT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Randy Lee Aragon on behalf of Kevin Lefere for the approval of a *Specific Use Permit (SUP)* for a *Recording Studio* on a 0.92-acre parcel of land identified as a portion of Lots 2 & 3, Block S, Rockwall OT Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 206 E. Washington Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Recording Studio* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.07, *Downtown (DT) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

**2.1 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

2<sup>nd</sup> Reading: December 1, 2025

**Exhibit 'A':  
Location Map**

Legal Description: a portion of Lots 2 & 3, Block S, Rockwall OT Addition

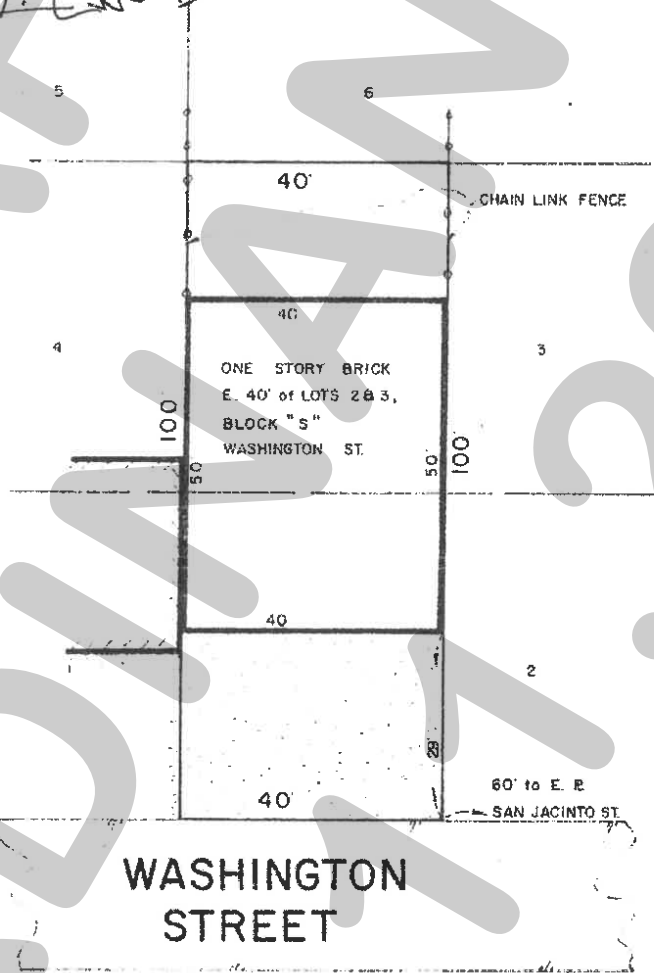




**Exhibit 'B':  
Survey**

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. Washington Street in the City of Rockwall, being described as follows:  
 Lot No. East 40' of Lots 2 and 3, Block No. 8, City Block No. \_\_\_\_\_  
 of Original Town of Rockwall, an addition to the City of Rockwall  
 Texas, according to the Filed plot thereof recorded in Vol. 510 of the Deed  
 Map Deed Records of Rockwall County, Texas, at page 555 of the Plat and Map

*[Handwritten signatures and initials]*  
 X *[Signature]*  
 X *[Signature]*



The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements





---

**TO:** Planning and Zoning Commission  
**DATE:** November 11, 2025  
**APPLICANT:** Kevin Sayles  
**CASE NUMBER:** Z2025-069; *Specific Use Permit (SUP) for an Accessory Structure at 24 Shadydale Lane*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

### **BACKGROUND**

The subject property was annexed on October 29, 1973 by *Ordinance No. 73-44 [Case No. A1973-006]*. On November 12, 1973, the City Council approved zoning case [*Ordinance No. 73-49*] that established the subject property as a part of Planned Development District 9 (PD-9), which dedicated the subject property for single-family land uses. Planned Development District 9 (PD-9) was then amended on June 16, 1986 [*Ordinance No. 86-55*] changing base zoning of the subject property to Single-Family 10 (SF-10) District. The City Council amended Planned Development District 9 (PD-9) an additional nine (9) times [*Ordinance No. 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, 13-43, & 24-02*]; however, none of these amendments made changes to the zoning or development standards for the subject property. On February 22, 1995, the City Council approved a final plat [*Case No. 94-35-FP*] that establish the subject property as Lot 21, Block A, Foxchase, Phase 4 Addition.

On September 4, 2025, the Neighborhood Improvement Service (NIS) Division issued a notice of violation [*Case No. CE2025-5189*] to the property owner for the construction of an *Accessory Structure* without a permit. Following the applicant's failure to submit for a Specific Use Permit (SUP) on September 12, 2025, two (2) separate citations were issued to the property. In response to this, the applicant applied for a Specific Use Permit (SUP) on October 17, 2025. Given that the proposed structure was constructed without receiving a building permit, the applicant was required to pay the \$1,000.00 *Non-Compliant Structure Fee* in addition to the standard development application fee.

### **PURPOSE**

The applicant -- *Kevin Sayles* -- is requesting the approval of a Specific Use Permit (SUP) to allow an unpermitted *Accessory Structure* that exceeds the overall maximum allowable square footage to remain on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 24 Shadydale Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Foxchase Subdivision, which was established in 1994 and consists of 25 residential lots. Beyond this is Phase 5 of the Foxchase Subdivision, which was established in 1998 and consists of 48 residential lots. Both phases are zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

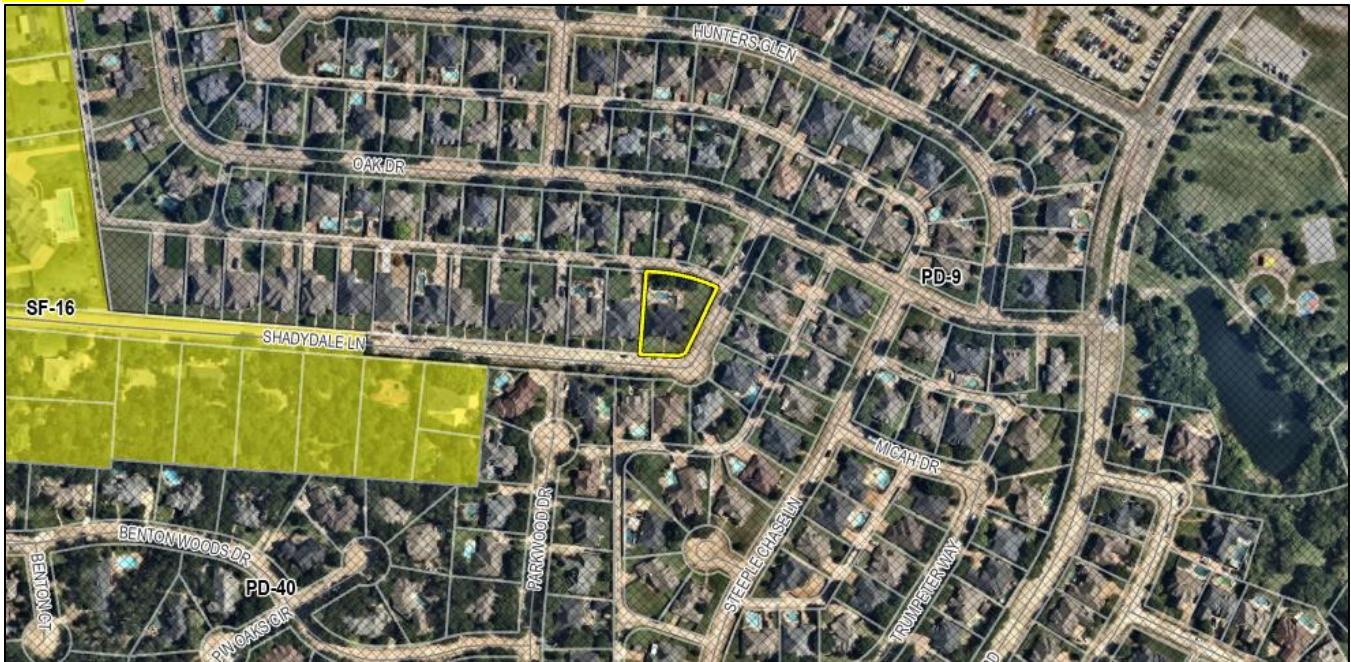
South: Directly south of the subject property is Shadydale Lane, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 4 of the Foxchase Subdivision, which was established

in 1995, consists of 40 residential lots, and is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the remainder of Phase 4 of the Foxchase Subdivision, which was established in 1995 and consists of 40 residential lots. Beyond this is Phase 6 of the Foxchase Subdivision, which was established in 2000 and consists of 37 residential lots. Both phases are zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses.

West: Directly west of the subject property is the Shadydale Estates Subdivision, which was established in 2014, consists of 14 residential lots, and is zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses. Beyond this is a 2.60-acre parcel of land (i.e. Lot 1, Block A, Best Estate Addition) developed with a single-family home, zoned Single Family 16 (SF-16) District. Following this is Ridge Road [FM-740], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

According to the site plan provided by the applicant, the unpermitted *Accessory Structure* is 20-feet by 12-feet (or 240 SF), and is situated in the rear yard of the subject property. It will be located approximately three (3) feet from the rear property line, 15-foot from the front property line adjacent to Shadydale Lane, and have a permanent concrete foundation. The applicant has not provided any additional information related to the exterior materials, overall height, or roof pitch. The current condition on the subject property is that the *Accessory Structure* was constructed without a permit. It appears that the *Accessory Structure* is violation of the 15-foot setback requirement adjacent to Shadydale Lane. In addition, the *Accessory Structure* is situated on concrete blocks and not on a permanent concrete foundation.





FIGURE 1: IMAGE OF THE UNPERMITTED ACCESSORY STRUCTURE

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single Family 10 (SF-10) District allows a maximum of two (2) accessory structures with a maximum square footage of 144 SF each. In addition, the maximum permissible height is 15-feet, and the minimum roof pitch is 3:12. The proposed *Accessory Structure* is 240 SF or 96 SF over the maximum allowable square footage. Staff requested that the applicant provide the height and roof pitch of the unpermitted *Accessory Structure*; however, no additional information has been provided. Currently the *Accessory Structure* is situated on top of concrete blocks and is not attached to a permanent foundation. The applicant is aware of this requirement and if approved is amenable to attaching the *Accessory Structure* to a concrete foundation. In addition, the proposed *Accessory Building* is required to meet the density and dimensional requirements for a Single-Family 10 (SF-10) District as contained in Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Number of Accessory Structures Permitted</i>	2	<i>In Conformance</i>
<i>Detached Garage (Maximum Square Footage)</i>	144 SF	240 SF; <i>Not in Conformance</i>
<i>Minimum Rear Yard Setback</i>	3-Feet	<i>Unknown; Proposed 3-Feet</i>
<i>Minimum Side Yard Setback (Adjacent to Shadydale Lane)</i>	15-Feet	<i>Unknown; Proposed 15-Feet</i>
<i>Maximum Building Height</i>	15-Feet	<i>Unknown; Appears to be X&lt;15-Feet</i>
<i>Between Buildings</i>	10-feet	<i>X&gt;10-feet; In Conformance</i>

**STAFF ANALYSIS**

In reviewing a Specific Use Permit (SUP), the Planning and Zoning Commission and City Council are asked to consider: [1] if the structure was constructed without a permit or under false pretenses, [2] the size of the proposed *Accessory Structure* compared to the size of other *Accessory Structures* in the area/neighborhood/subdivision, and [3] the size, architecture, and location of the proposed accessory structure compared to those of the primary structure. In this case, the proposed request was constructed without a building permit, exceeds the maximum size requirements, and architecture does not appear to match the single-family home. In addition, the applicant has failed to provide staff with the requested information regarding the height, roof pitch, and materials. Staff completed an inventory of all *Accessory Structures* within the Foxchase Subdivision near the subject property. Based on the inventoried properties six (6) of the 57 properties had one (1) *Accessory Structure*, four (4) were unpermitted, and the largest was approximately 130 SF. This would make the applicant’s *Accessory Structure* the largest in this part of the Foxchase Subdivision.

With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On October 18, 2025, staff mailed 89 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Foxchase, Benton Woods, and Rainbow Lakes Homeowners Associations (HOAs), which are the only HOA or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received seven (7) notices in opposition and two (2) notices in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve of the applicant's request for a Specific Use Permit (SUP) for an Accessory Building, then staff would propose the following conditions of approval:

- (1) The applicants shall be responsible for maintaining compliance with the operational conditions contained within the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance; and,
  - (b) The proposed Accessory Structure shall not exceed 240 SF; and,
  - (c) The proposed Accessory Structure shall be attached to a permanent concrete foundation; and,
  - (d) No additional Accessory Structures, Accessory Buildings, or Detached Garages shall be permitted on the *Subject Property*.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 24 Shady Dale Ln Rockwall TX 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Kevin Sayles

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

24 Shady Dale Ln

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

PHONE

[REDACTED]

PHONE

E-MAIL

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Sayles [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16<sup>th</sup> DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

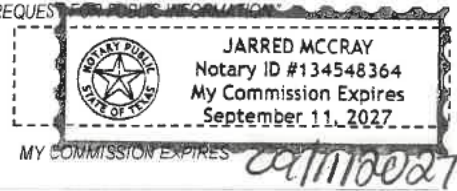
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16<sup>th</sup> DAY OF October, 2025

OWNER'S SIGNATURE

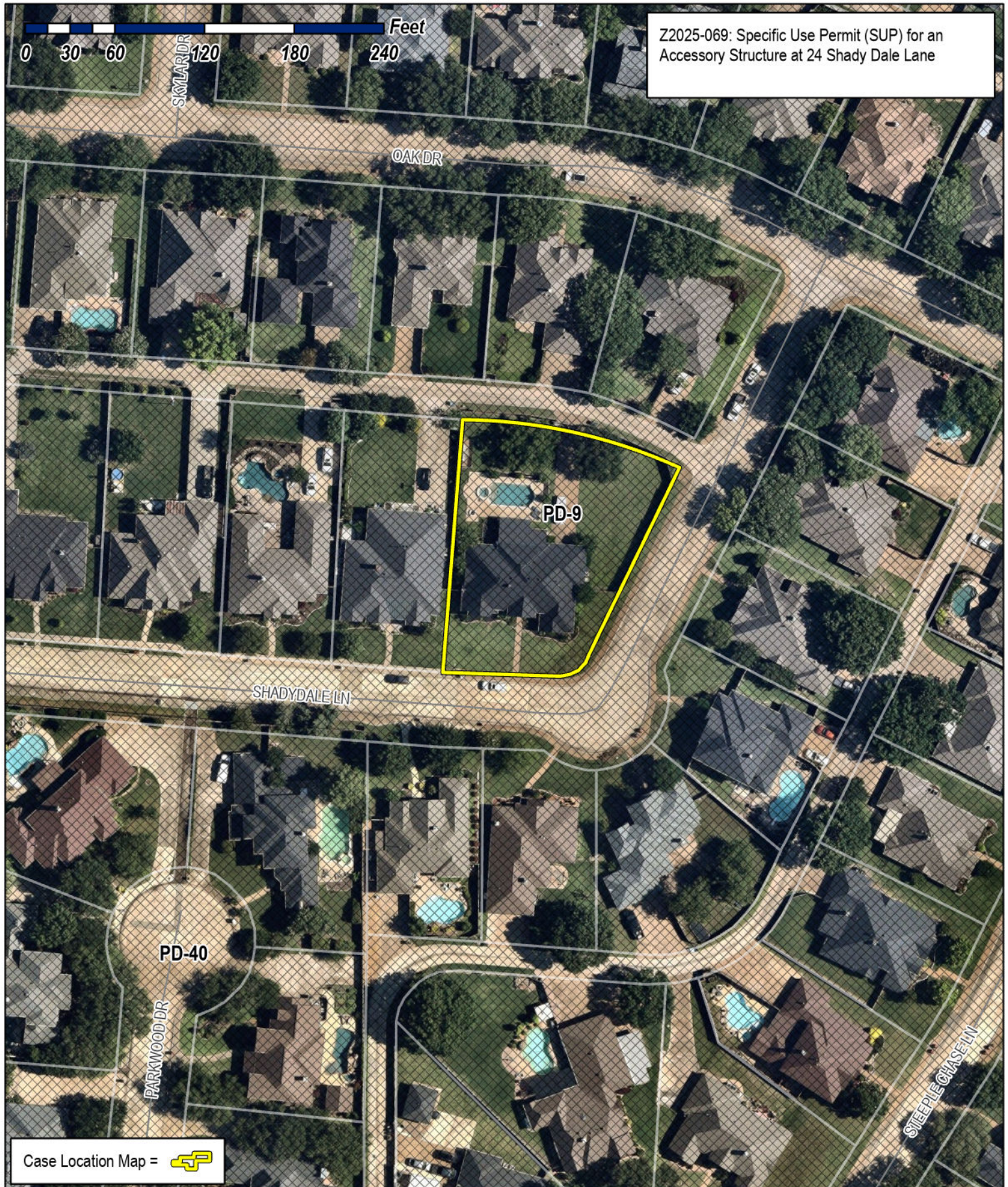
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


[Signature]







Z2025-069: Specific Use Permit (SUP) for an Accessory Structure at 24 Shady Dale Lane

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



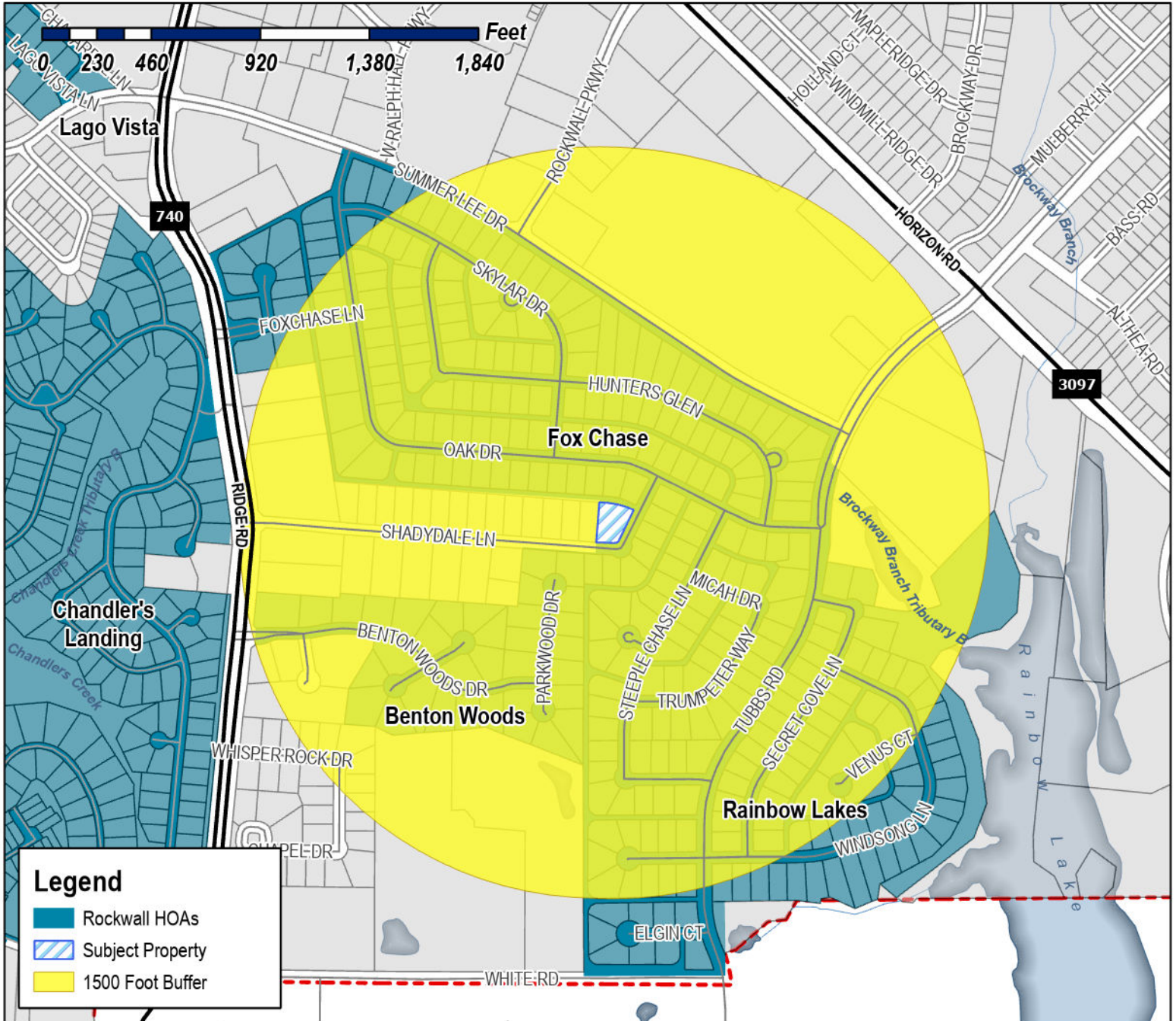




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
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**Case Number:** Z2025-069  
**Case Name:** SUP for a Portable Accessory Structure  
**Case Type:** Zoning  
**Zoning:** Planned Development District 9 (PD-9)  
**Case Address:** 24 Shady Dale Lane

**Date Saved:** 10/17/2025  
 For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, October 22, 2025 2:23 PM  
**Cc:** Miller, Ryan; Lee, Henry; Ross, Bethany  
**Subject:** Neighborhood Notification Program [Z2025-069]  
**Attachments:** HOA Map (10.22.2025).pdf; Public Notice (10.20.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2025-069: SUP for an Accessory Structure**

Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568

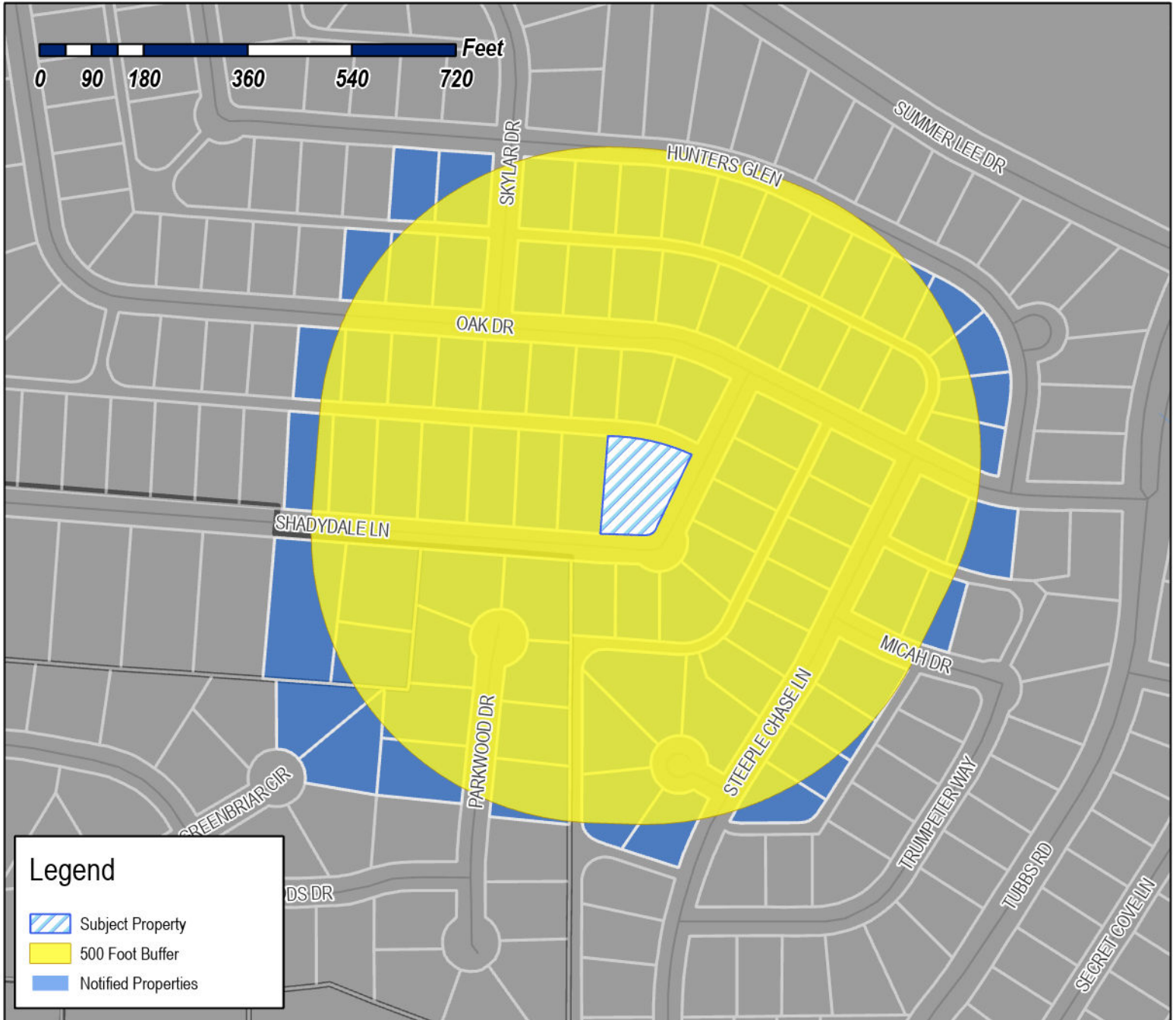




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

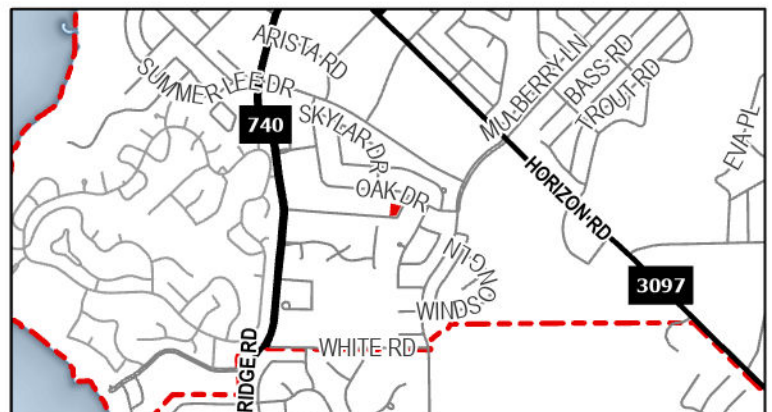
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2025-069  
**Case Name:** SUP for a Portable Accessory Structure  
**Case Type:** Zoning  
**Zoning:** Planned Development District 9 (PD-9)  
**Case Address:** 24 Shady Dale Lane

**Date Saved:** 10/17/2025

For Questions on this Case Call: (972) 771-7745



ROYALAND PROPERTIES LLC  
11034 GRISSOM LANE  
DALLAS, TX 75229

REDDEN TRAVIS  
1115 CONCAN DRIVE  
FORNEY, TX 75126

WILLIAMS KATHY S  
112 GLENN AVE  
ROCKWALL, TX 75087

BALLARD STEVE & ANNABETH  
17 SHADYDALE LANE  
ROCKWALL, TX 75032

DOSKOCIL PATRICK AND GLINDA  
19 SHADYDALE LN  
ROCKWALL, TX 75032

ROMAN MARIA G & ARMANDO POMPOSO  
23 SHADY DALE LN  
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN  
24 SHADY DALE LN  
ROCKWALL, TX 75032

SNIDER VICTOR BRUCE & JUDY LYNNE  
25 SHADY DALE LN  
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C  
26 SHADY DALE LN  
ROCKWALL, TX 75032

PARVIN RHONDA  
27 SHADY DALE LN  
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN  
28 SHADY DALE LANE  
ROCKWALL, TX 75032

TAGGART FAMILY TRUST  
MICHAEL JORDAN TAGGART & KELLY ANNE  
TAGGART - TRUSTEES  
2843 MIRA VISTA LN  
ROCKWALL, TX 75032

HUFFMAN JAMES D & STEPHANIE L  
29 SHADY DALE LN  
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN  
30 SHADY DALE LN  
ROCKWALL, TX 75032

HOYA CHARLOTTE G  
3006 OAK DR  
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L  
3014 OAK DR  
ROCKWALL, TX 75032

RESIDENT  
3015 OAK DR  
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A  
3021 Ridge Rd Ste A PMB 131  
Rockwall, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E  
3022 OAK DR  
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST  
JUNE PETROCELLY TRUSTEE  
3023 OAK DRIVE  
ROCKWALL, TX 75087

2024 G S SLOAN REVOCABLE TRUST  
GARY DEAN & STEPHANIE ANN SLOAN -  
TRUSTEE  
3030 OAK DR  
ROCKWALL, TX 75032

DAVIS ANN SHERRILL  
3033 OAK DR  
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D  
3107 OAK DR  
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN  
3108 OAK DR  
ROCKWALL, TX 75032

MCMAHON SANDRA  
3115 OAK DR  
ROCKWALL, TX 75032

BEVAN MARILYN  
3116 OAK DR  
ROCKWALL, TX 75032

KUBIAK NICHOLAS E AND JENNIFER L  
3123 OAK DR  
ROCKWALL, TX 75032

CHILDRESS SHERRY L  
3124 OAK DR  
ROCKWALL, TX 75032

MISHLER JEREMY & CHRISTI  
3131 OAK DR  
ROCKWALL, TX 75032

MANNO SHARON &  
PAUL FULLINGTON  
3134 OAK DR  
ROCKWALL, TX 75032

DODSON GERELDENE  
3139 OAK DR  
ROCKWALL, TX 75032

DICKINSON JONATHAN PAUL & THERESA  
MICHELLE  
3144 OAK DRIVE  
ROCKWALL, TX 75032

STANLEY RONALD ALAN & JENNIFER J  
3147 OAK DR  
ROCKWALL, TX 75032

HOWELL RANDALL R & DANA L  
3155 OAK DR  
ROCKWALL, TX 75032

DISSONGO THIERRY AND  
MARIAME DISSONGO  
3163 OAK DR  
ROCKWALL, TX 75032

PIKE MARTIN E & JANET L  
3171 OAK DRIVE  
ROCKWALL, TX 75032

WEICHEL JAMES D & KRISTEN E  
3182 OAK DR  
ROCKWALL, TX 75032

BALLI NOE III & LYNN E  
3190 OAK DR  
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGHI  
32 SHADY DALE LN  
ROCKWALL, TX 75032

TINDALL CINDY P  
34 SHADY DALE LN  
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE  
36 SHADY DALE LN  
ROCKWALL, TX 75032

RESIDENT  
38 SHADYDALE LN  
ROCKWALL, TX 75032

HERNANDEZ ANDRES & MISTY  
4550 STEEPLE CHASE LN  
ROCKWALL, TX 75032

HARRIS GERALD T & SHERRI K  
4558 STEEPLE CHASE LN  
ROCKWALL, TX 75032

KIRK MARGIE  
4566 STEEPLE CHASE LN  
ROCKWALL, TX 75032

KEITH LARRY J & CAROLYN K  
4574 STEEPLE CHASE LN  
ROCKWALL, TX 75032

ARNDT GARY & DIANNE  
4608 STEEPLE CHASE LN  
ROCKWALL, TX 75032

POWELL ALEAH D  
4609 STEEPLE CHASE LN  
ROCKWALL, TX 75032

BRANNING BARRY S & LINDA R  
4616 STEEPLE CHASE LN  
ROCKWALL, TX 75032

RESIDENT  
4617 STEEPLE CHASE LN MICHAEL JORDAN  
TAGGART & KELLY ANNE TAGGART - TRUSTEES  
ROCKWALL, TX 75032

WATSON MATTHEW WAYNE  
4625 STEEPLE CHASE  
ROCKWALL, TX 75087

KHODAPARAST RAHIM & ROYA  
4630 PARKWOOD DR  
ROCKWALL, TX 75087

VEST DONALD R  
4633 PARKWOOD DR  
ROCKWALL, TX 75032

FLORANCE WILLIAM C & KATHRYN E  
4633 STEEPLE CHASE LANE  
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D  
4648 PARKWOOD DRIVE  
ROCKWALL, TX 75032

RESIDENT  
4649 PARKWOOD DR  
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN  
4660 GREENBRIAR CT  
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL  
4670 PARKWOOD DR  
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF  
4671 GREENBRIAR CT  
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L  
4671 PARKWOOD DR  
ROCKWALL, TX 75032



SHIPMAN EARL RAPHE & DELAMIE  
4690 PARKWOOD DR  
ROCKWALL, TX 75087

PARENT RICHARD DAVID & MARIE L  
4691 PARKWOOD DR  
ROCKWALL, TX 75032

WEBSTER DAVID L  
501 E OLD GREENVILLE RD  
ROYSE CITY, TX 75189

CARTER SHARON R  
BLANKENSHIP DON L & AUDREY LIFE ESTATE  
6 SHADY DALE LN  
ROCKWALL, TX 75032

28 PLAZA LTD  
601 KILLARNEY  
RICHARDSON, TX 75201

RESIDENT  
7 SHADYDALE LN  
ROCKWALL, TX 75032

RESIDENT  
7 SHADYDALE LN  
ROCKWALL, TX 75032

WATSON BARBARA  
743 MICAH DR  
ROCKWALL, TX 75032

SMITH MICHAEL & KATRINA  
751 MICAN DR  
ROCKWALL, TX 75032

BENNETT FAMILY LIVING TRUST  
WILLIAM THOMAS AND JUDY M BENNETT  
TRUSTEES  
754 HUNTERS GLN  
ROCKWALL, TX 75032

KUEHL FAMILY LIVING TRUST  
LESLIE L KUEHL AND SUSAN B KUEHL- TRUSTEES  
762 HUNTERS GLEN  
ROCKWALL, TX 75032

BROWN SANDRA MARIE  
770 HUNTERS GLEN  
ROCKWALL, TX 75032

SHERROD ROBERT T & AMY  
778 HUNTERS GLN  
ROCKWALL, TX 75032

ROMER FRANK L & MARCY L AND  
MARISSA P  
786 HUNTERS GLEN  
ROCKWALL, TX 75032

NGUYEN TAMMY  
7910 SARAHVILLE DR  
DALLAS, TX 75252

HONG TAE SU & SUNSIL  
794 HUNTERS GLN  
ROCKWALL, TX 75032

STANFORD STEVEN R AND KIRSTEN L  
802 HUNTERS GLEN  
ROCKWALL, TX 75032

CHRISTENSEN BRIAN & JENNIFER  
810 Hunters Gln  
Rockwall, TX 75032

BRADY LISA AND RALPH  
826 HUNTERS GLEN  
ROCKWALL, TX 75032

SCOTT MARY ELIZABETH  
834 HUNTERS GLEN  
ROCKWALL, TX 75032

BRISCOE JULIE  
842 HUNTERS GLEN  
ROCKWALL, TX 75032

DIETERICH GEORGE D & JOHANNA  
846 STEEPLE CHASE CT  
ROCKWALL, TX 75032

CARNES LINDA M  
850 HUNTERS GLN  
ROCKWALL, TX 75032

HESKETT RHEA  
850 STEEPLE CHASE COURT  
ROCKWALL, TX 75032

ANDERSON LARY & LAURIE  
854 STEEPLE CHASE CT  
ROCKWALL, TX 75032

LEONARD SCOTT E AND CATHERINE W  
858 STEEPLE CHASE CT  
ROCKWALL, TX 75032

MCGUIRE JOHN L & LISA L  
862 STEEPLE CHASE CT  
ROCKWALL, TX 75032

ERICKSON MARIUM E LIVING TRUST  
906 HUNTERS GLEN  
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST  
JEFFREY CHAD MONK TRUSTEE  
914 HUNTERS GLEN  
ROCKWALL, TX 75032

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-069: SUP for an Accessory Structure**

*Hold a public hearing to discuss and consider a request by Kevin Sayles for the approval of a Specific Use Permit (SUP) for an Accessory Structure on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shadydale Lane, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-069: SUP for an Accessory Structure**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [alan@advbussys.com](mailto:alan@advbussys.com)  
**To:** [Planning](#)  
**Subject:** Case No. Z2025-069  
**Date:** Sunday, October 26, 2025 7:51:38 AM

---

To whom it may concern. I and my wife discussed the case and we have determined that we oppose the amendment referenced in the case. If we allow this change we forfeit our voice moving forward. We have discipline within the existing laws to enforce this violation.

Regards,

Alan and Jennifer Stanley

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2025-069: SUP for an Accessory Structure**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

This accessory unit does not fit in, it's way too large and tall and an eye sore to the neighbors. We are concerned if this is allowed to stay then anyone can do this too. Why have rules if we don't intend to follow them?

Name:

Donald Weintraub

Address:

20 Shadydale Lane

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

BUILDING APPEARS TO BE 16 X 12 WHICH IS A LITTLE OVER  
144 FT<sup>2</sup> PERMITTED - BUILDING APPEARS TO BE GOOD QUALITY  
AND WHITE MATCHES HOUSE.

Name: SCOTT LEONARD

Address: 858 STEEPE CREEK CT ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

It's a nice storage unit, but if it could have been placed in an area a little less conspicuous area would have been nicer & appreciated.

Name: Tom Sudela

Address: 26 Study Dale Lane Rockwall TX 75037

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area containing property details and possibly a signature line]

Name:

William Thomas and Judy M. Bennett

Address:

754 Hunters Glen, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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**From:** [Victor Snider](#)  
**To:** [Ross, Bethany](#)  
**Subject:** Zoning Case Z2025-069  
**Date:** Tuesday, October 28, 2025 8:45:11 AM

---

I am opposed to this request. The building in question is higher than the privacy fence which surrounds the area. It obstructs the skyline, and if an exception is made for this resident then more requests may be made. I have spoken with several of our neighbors, and they are against this supplemental zoning change as well.

Please deny this request.

Victor Bruce and Judy Snider  
25 Shady Dale Lane  
Rockwall, TX 75032all

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

11/3/25

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I live across the street from 24 Shady Dale Ln. and this structure in no way hinders my view or bothers me in any way; I can barely see the top of the structure.

Name:

Blonda D. Parvin

Address:

27 Shady Dale Ln, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLANNING AND ZONING DEPARTMENT  
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EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Allowing this non-permitted structure to remain in place sets a bad precedent. Code enforcement should ensure that all homes in the Fox Chase subdivision are in compliance.

Name: **RANDALL R. HOWELL**

Address: **3155 OAK DR. ROCKWALL 75032**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# PUBLIC NOTICE



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Rockwall Planning and Zoning Dept.  
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Rockwall, TX 75087

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2025-069: SUP for an Accessory Structure

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

SEE ATTACHED

Name: **LES + SUE KUENH**

Address: **762 HUNTERS GLEN**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





Section 2.04 No structure of any type shall be erected on any Lot in the Subdivision nearer the front Lot line than the setback line indicated on the recorded plat of the Subdivision, and no structure of any type shall be erected closer to the side Lot lines than a distance of six (6) feet from the side Lot lines (or such greater distance for a particular Lot as may be indicated on the recorded plat of the Subdivision.) No structure of any type shall be erected on any Lot nearer the rear Lot line than the setback line permitted by the ordinance of the City of Rockwall governing such matters at the time of the erection of such structure.

Section 2.07 Each Residence shall have attached to it a garage with sufficient space for two (2) conventional automobiles. Each garage shall have an entrance facing the rear of side Lot lines, but not facing the front Lot line. Exceptions may be made for homes with detached garages. The Architectural Control Committee may give written permission for the entrance of a detached garage to face the front building line. All carports, servants quarters, guest quarters or storage rooms erected or placed on a Lot shall be attached to the Residence. Gazebos unattached to the Residence may be permitted with the prior written approval of Developer or the Architectural Control Committee. Any storage room approved by the Developer or Architectural Control Committee must be 75% Brick (with the brick matching the Residence), the roof must match the Residence, and the size must not exceed 80 square feet. Additionally, the location of said storage room must be identified by Owner in writing prior to submission to Developer or by Owner in writing prior to submission to Developer or Architectural Control Committee and subsequently approved prior to construction.



ARTICLE III

ARCHITECTURAL CONTROL

Wow! ONE SENTENCE

Section 3.01 No Lot shall be further subdivided and no building or other improvement of any character (either permanent or temporary) shall be erected or placed, or the erection or placing thereof commenced, or changes made in the design thereof or any addition made thereto or exterior alteration made therein after original construction, on any Lot in the Subdivision without the written approval of Developer or the Architectural Control Committee of such further subdivision, or of the construction plans and specifications and a plat showing the location and dimensions of such building or other improvements. Plans, and specifications shall show the nature, kind, shape, height, materials, exterior color, location and all other material attributes. Developer or the Architectural Control Committee shall have the right, in their sole discretion, to disapprove any plans, specifications and plats submitted for any of the following reasons: (a) if such plans, specifications and plats are not in accordance with any of the provisions of these Restrictive Covenants or the codes, ordinances and regulations of the City of Rockwall, Texas, or any other laws or regulations; (b) if the external design, elevation, appearance, location or color scheme for the proposed improvements are not in harmony with the general surroundings of the Subdivision or with existing or proposed adjacent structures or with the topography; (c) if the plans, specification and plats submitted are incomplete; (d) if the design, appearance or location of any landscaping is not in harmony with the general surrounding or topography; (e) if the plans do not provide for adequate structural integrity or structural support for the improvements; (f) if the plans, specifications and plats do not provide for approved quality of materials or finished grade elevation; (g) if the improvements obstruct the view from nearby or adjoining Lots; or (h) if Developer or the Architectural Control Committee deems the plans, specifications and plats, or any part thereof, to be contrary to the interest, welfare or rights of any or all part of the Subdivision. Developer or the Architectural Control Committee is authorized to accept whatever plans, specifications or plats as they deem desirable within their sole discretion to be in satisfaction of the foregoing.



## Residential Projects That Require a Permit



Telephone Numbers  
Main Number: 972-771-7709  
Office Hours: M-F 8:00 a.m.– 5:00 p.m.

**Building Permit Applications** and **Contractor Registrations** can be submitted online through our **CityWorks Portal**. Here's a link to the portal: <https://cityworks.rockwall.com/PublicAccess/template/login.aspx>. Just sign up and/or log into the portal and click +NEW APPLICATION at the top center of the page to begin your permit application or registration.

Building Permits are required for the residential projects listed below. If your project is not listed and is outside the scope of cosmetic work (ie. painting, flooring), please contact our office to review with a Permit Technician.

### Projects that Require a Permit:

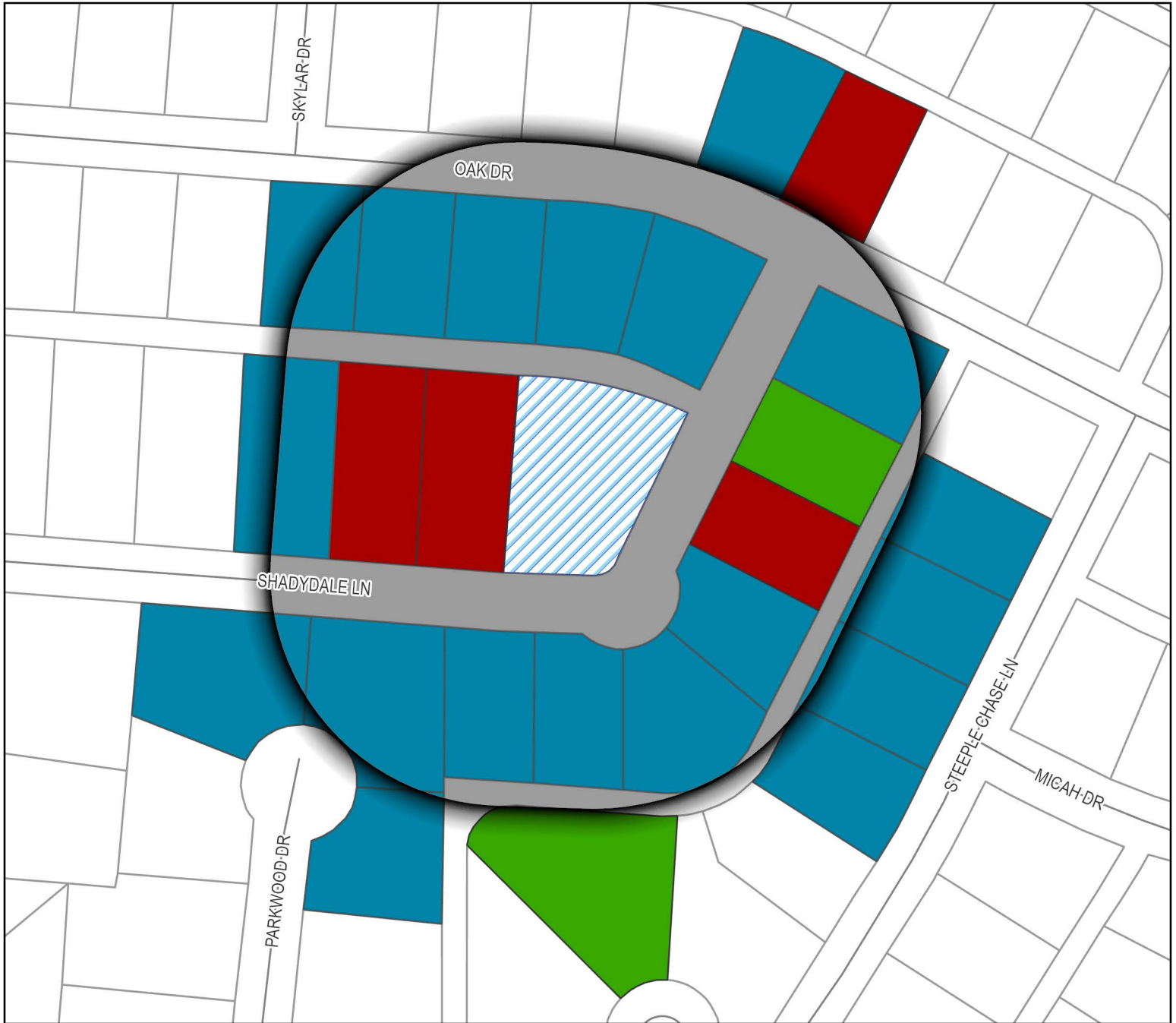
- New Construction homes, remodels and additions
- Plumbing work
- Electrical work
- HVAC Mechanical work
- Storm Shelter/Safe Rooms
- Water Heater Replacement
- Heating & AC Replacement
- Concrete Driveways, Sidewalks, Patio slabs
- Retaining Walls
- Gazebos
- Roof replacement
- Demolitions
- Irrigation & Sprinkler Systems
- Moving a building or mobile home
- Swimming Pools
- Hot Tubs
- Spas
- Storage Buildings/Guest Quarters
- Detached Garage
- Driveways
- Patios
- Patio Covers
- Carports
- Sunrooms
- Greenhouse
- Decks
- Solar Panels
- EV Power Walls/Supply Chargers
- Backup Generators
- Takeline projects
- Artificial Turf
- Flag Poles



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



## Z2025-069 SUP for 24 Shady Dale Lane

-  Subject Property
-  For (0.227 Acres) 4.16%
-  Against (0.822 Acres) 15.0 %
-  No Response (2.789 Acres) 51.0%
-  ROW (1.626 Acres) 29.7%

\*All Response calculations are based on properties located within the 200 Ft buffer area

**Date Saved: 11/7/2025**

For Questions on this Case Call (972) 771-7745

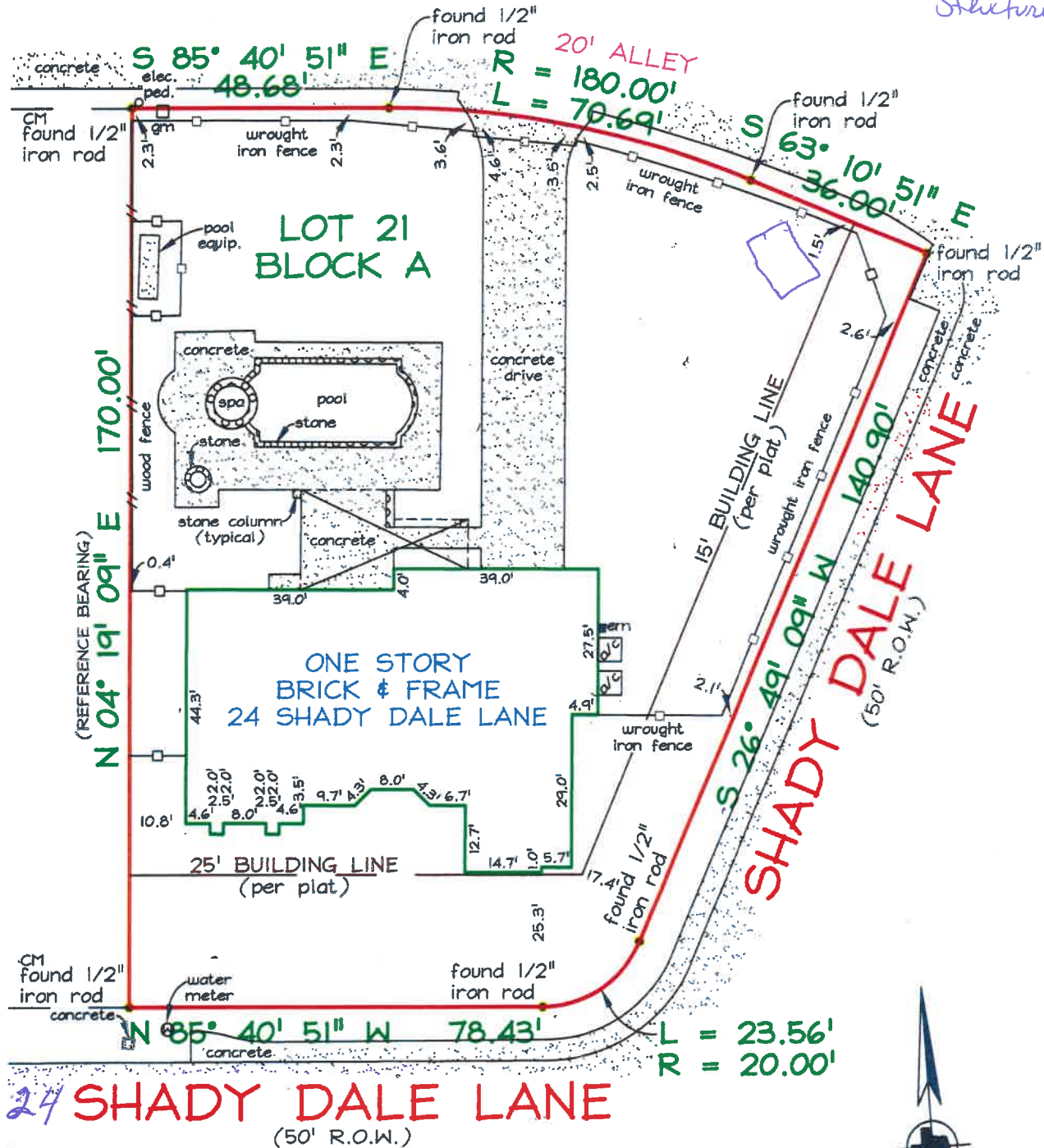




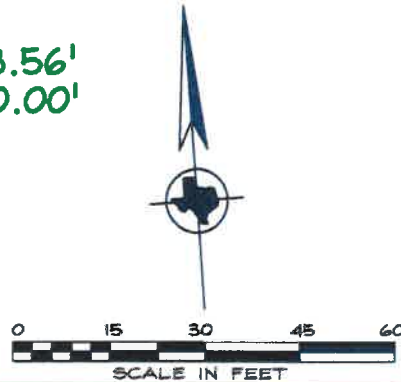


PRECISE LAND SURVEYING, INC.  
 DALLAS/FORT WORTH  
 4825 EASTOVER DR.  
 MESQUITE, TX 75149  
 PH. 877.581.7072 FX. 1.888.438.1273

3ft From Rear  
 6ft From any other  
 Structure



NOTES:  
 CM = CONTROLLING MONUMENT.  
 THIS PROPERTY IS NOT AFFECTED BY THE FOLLOWING:  
 (10e)-EASEMENT, VOL. 64, PG. 274, D.R.R.C.T.  
 (10f)-EASEMENT, VOL. 63, PG. 82, D.R.R.C.T.  
 BEARINGS ARE BASED ON THE RECORDED PLAT REFERENCED BELOW.  
 THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE IN BLACK INK.



THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the property located at 24 SHADY DALE LANE, and Being Lot Twenty One (21), Block A, of FOXCHASE PHASE FOUR, an addition in Rockwall County, Texas, according to the map or plat thereof recorded in Cabinet C, Page 284, of the Plat Records of Rockwall County, Texas.

There are no visible conflicts or protrusions, except as shown.  
 The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the map published by the Federal Emergency Management Agency, and has a Zone "X" Rating as shown by Map No. 48397C0040 L, dated SEPTEMBER 26, 2008. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of the hereon named purchaser, mortgage company, and title company only and this survey is made pursuant to that one certain title











CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) [*ORDINANCE NO. 25-02*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *ACCESSORY STRUCTURE* ON A 0.417-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 21, BLOCK A, FOXCHASE, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Sayles for the approval of a *Specific Use Permit (SUP)* for an *Accessory Structure* on a 0.417-acre parcel of land identified as Lot 21, Block A, Foxchase, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single Family 10 (SF-10) District land uses, addressed as 24 Shady Dale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 9 (PD-9) [*Ordinance No. 25-02*] and Subsection 03.01, *General Residential District Standards*, Subsection 03.07, *Single-Family 10 (SF-10) District*, and



Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The proposed *Accessory Structure* shall not exceed 240 SF; and,
- 3) No additional *Accessory Structures*, *Accessory Buildings*, or *Detached Garages* shall be permitted on the *Subject Property*.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>st</sup> DAY OF DECEMBER, 2025.

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

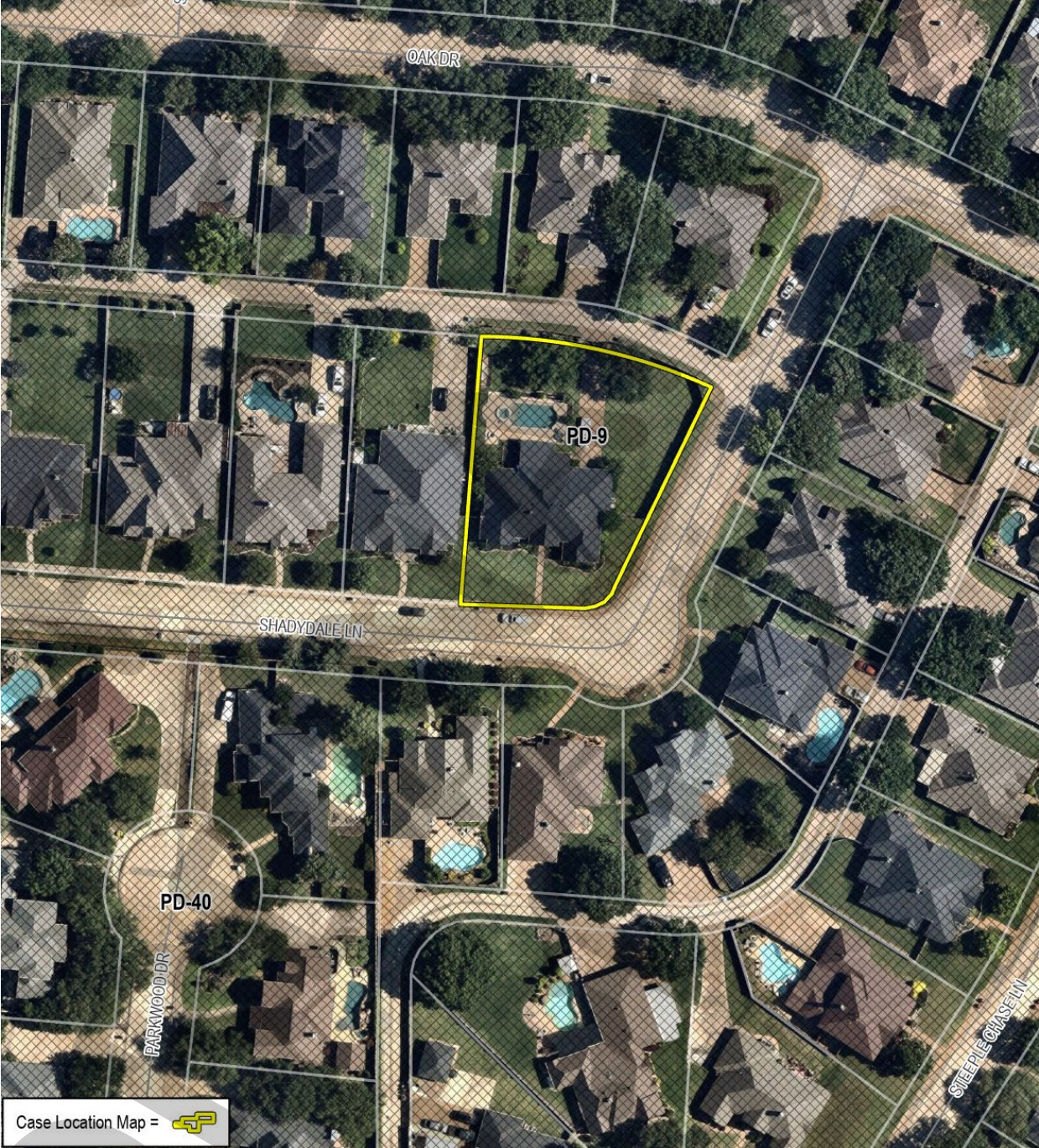
2<sup>nd</sup> Reading: December 1, 2025



**Exhibit 'A':  
Location Map**

Address: 24 Shady Dale Lane

Legal Description: Lot 21, Block A, Foxchase Phase 4 Addition









# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**FROM:** Bethany Ross, *Senior Planner*

**DATE:** November 11, 2025

**SUBJECT:** Z2025-070; *Zoning Change from Commercial (C) District and Light Industrial (LI) District to a Planned Development District for Commercial (C) District Land Uses.*

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On November 4, 2025, the applicant -- *Mike Feather, P.E. of Kimley-Horn* -- sent an email to staff, requesting to withdraw Case No. Z2025-070. According to the applicant, the purpose of the withdrawal request is to allow the applicant additional time to make changes to their concept plan and building elevations to address the Planning and Zoning Commission's recommendations. The applicant intends on resubmitting the request on December 12, 2025. Staff has provided the letter from the applicant attached to this memorandum. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means that the Planning and Zoning Commission will need to take action on the applicant's request to withdraw the case. Should the Planning and Zoning Commission have any questions staff will be available at the November 11, 2025 meeting.



Gage A. Raba  
Principal  
Hunington Properties  
3773 Richmond Ave. Suite 800  
Houston, TX 77046  
gage@hpiproperties.com  
713-623-6944  
May 23, 2024

Bethany Ross  
Senior Planner  
City of Rockwall  
385 S. Goliad St.  
Rockwall, TX 75087

Subject: Letter of Withdrawal

Dear Mrs. Ross,

Please accept this letter as Hunington's formal request to withdraw our current zoning submittal for the property at the northwest corner of John King Boulevard and I-30 Frontage Road. This decision is based on our need for additional time to evaluate and refine our concepts to better align with the City's Town Center vision.

We would like to thank the Council for their time and consideration and look forward to working collaboratively with staff and the City on bringing a revised proposal forward that is consistent with the Town Center goals.

If you require any additional information or assistance, please do not hesitate to contact me at gage@hpiproperties.com.

We look forward to continuing our partnership and developing within the City of Rockwall.

Sincerely,

Gage A. Raba  
Principal  
Hunington Properties

Hunington Properties, Inc.

3773 Richmond Ave., Suite 800 ♦ Houston, Texas 77046 ♦ 713-623-6944 ♦ hpiproperties.com





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** November 11, 2025

**APPLICANT:** Michael Lewis

**CASE NUMBER:** Z2025-071; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit at 2592 FM 549*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit* for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block 1, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.

### BACKGROUND

The subject property was annexed on July 21, 1997, by *Ordinance No. 97-14 [Case No. A1997-001]*. At the time of annexation, the property was zoned Agricultural (AG) District. On June 3, 2002, the City Council approved a *Zoning Change [Case No. PZ2001-103]* from Agricultural (AG) District to Single-Family Estate 4.0 (SFE-4.0) District for the Lofland Lake Estates Addition including the subject property. The subject property has remained vacant since annexation.

### PURPOSE

The applicant -- *Michael Lewis* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home and a *Guest Quarters/Secondary Living Unit* on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 2592 FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 4.00-acre parcel of land [*i.e. 2548 S FM-549*] zoned Single-Family Estate 4.0 (SFE-4.0) District. Beyond this are five (5) parcels of land [*i.e. 2516, 2480, 2424, 2390, 2380 S FM-549*] that make up a part of the Lofland Lake Estates Addition. All of these properties are developed with single-family homes and are zoned Single-Family Estate 4.0 (SFE-4.0) District except for 2390 S. FM 549, which is vacant.

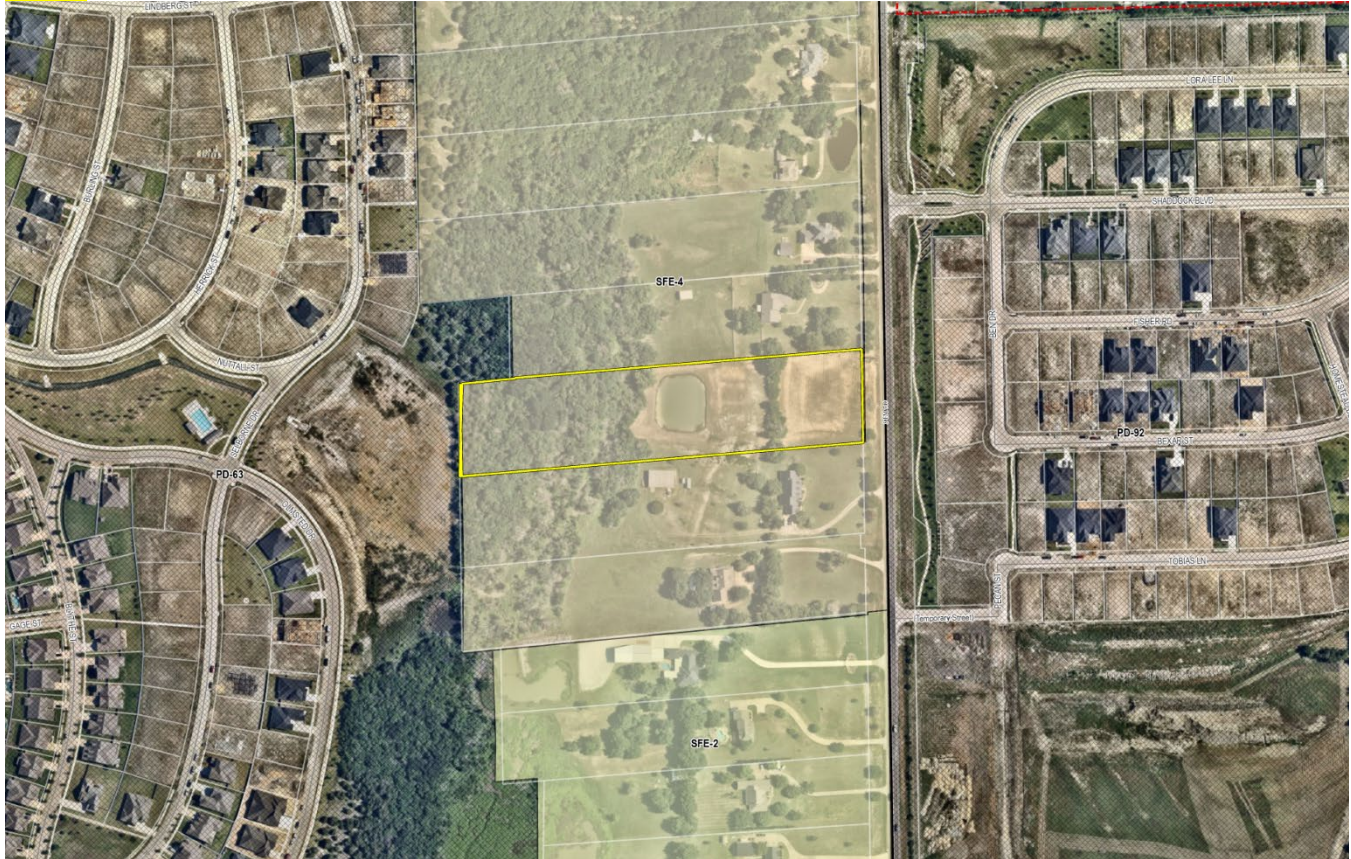
South: Directly south of the subject property are two (2) parcels of land [*i.e. 2638 and 2676 S FM-549*], zoned Single Family Estate 4.0 (SFE-4.0) District, and developed with single family homes. Beyond that is seven (7) parcels of land [*i.e. 2716, 2744, 2778, 2816, 2844, 2884, and 2914 S FM-549*], zoned Single-Family Estate 2.0 (SFE-2.0) District, and developed with single family homes. Beyond this is S FM-549 which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S FM-549 which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is Homestead Phase 1 Subdivision, which consists of 186 residential lots, was incorporated on

July 3, 2024, and is zoned Planned Development 92 (PD-92) for Single-Family 8.4 (SF-8.4) District land uses. Beyond this is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is the Somerset Park Phase 2 Subdivision, which consists of 171 residential lots, was incorporated on August 31, 2022, and is zoned Planned Development 63 (PD-63) District for Single Family 10 (SF-10) District land uses. Beyond this is a 16.90-acre tract of land (*i.e. portion of Tract 3, Abstract No. 123, of the A Johnson Survey*), which is zoned Planned Development 103 (PD-103) for limited Commercial (C) District land uses. Beyond this is SH-205 which is classified as a P6D (*i.e. Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located adjacent to Phase 2 of the Lofland Lake Estates Subdivision, which has been in existence for more than ten (10) years, consists of seven (7) lots, and is 100.00% developed.

The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision and being zoned Single-Family Estate 4.0 (SFE-4.0) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...". The following is a summary of observations concerning the housing within Phase 1 & 2 of the Lofland Lake Estates Subdivision compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing within Lofland Lake Estates	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face FM-549
Year Built	1900 - 2022	N/A
Building SF on Property	752 SF – 5,408 SF	3,287 SF
Building Architecture	Mostly Single-Family Homes	Comparable Architecture to the Surrounding New Single-Family Homes
Building Setbacks:		
Front	20-Feet or Greater	86-Feet
Side	10-feet or Greater	69-Feet
Rear	10-feet or Greater	More than 500-Feet
Building Materials	Brick, Siding, and Stone	Hardi-Board and Stone
Paint and Color		N/A
Roofs	Composite & Asphalt Shingles	Composite and Asphalt Shingle

The Specific Use Permit (SUP) request for the single-family home does appear to be in conformance with the density and dimensional requirements stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties within the Lofland Lake Estates Subdivision and the proposed building elevations in the attached packet.

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit* is defined as "(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as separate domicile." According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* requires a Specific Use Permit (SUP) in a Single-Family Estate 4.0 (SFE-4.0) District and -- according to Subsection 02.03 -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30.00% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. In addition to these requirements, a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is subject to the dimensional requirements contained in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, and the parking requirements of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). As stated above, *Guest Quarters/Secondary Living Unit* are permitted to be 30.00% of the square footage of the primary structure. In this case, the applicant is permitted a 983.40 SF *Guest Quarters/Secondary Living Unit* (i.e. 3,278 SF x 30.00% = 983.4 SF) based on the operational conditions for a *Guest Quarters/Secondary Living Unit*. With that being said, the applicant is requesting a 1,267 SF *Guest Quarters/Secondary Living Unit*, which represents 38.65% of the primary structure. This is approximately 8.65% larger than what the Unified Development Code (UDC) allows. In addition, the *Guest Quarters/Secondary Living Unit* will be architecturally similar to the primary structure, meet all setback requirements, incorporate a carport, and be situated behind the primary structure as shown in the *Residential Plot Plan* depicted in *Exhibit 'B'* of the draft ordinance.

If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed single-family home and *Guest Quarters/Secondary Living Unit*. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

**NOTIFICATIONS**

On October 22, 2025, staff mailed 60 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as



required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices back regarding the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and Guest Quarters/Secondary Living Unit, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - a) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of this ordinance.
  - b) The construction of a Single-Family Home and Guest Quarters/Secondary Living Unit on the Subject Property shall generally conform to the Building Elevations depicted in Exhibits 'C' & 'D' and the Floor Plans depicted in Exhibit 'E' & 'F' of this ordinance.
  - c) The Guest Quarters/Secondary Living Unit shall not exceed a maximum of 1,270 SF.
  - d) The Guest Quarters/Secondary Living Unit shall not incorporate kitchen facilities.
  - e) The Guest Quarters/Secondary Living Unit shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2592 FM 549		
SUBDIVISION	Lofland Lake Estates		
GENERAL LOCATION	2592 FM 549		
	LOT	2	BLOCK 1

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	S FE-4	CURRENT USE	Residential
PROPOSED ZONING	S FE-4	PROPOSED USE	Residential
ACREAGE	5.05	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Michael Lewis	<input type="checkbox"/> APPLICANT	Michael Lewis
CONTACT PERSON	Michael Lewis	CONTACT PERSON	Michael Lewis
ADDRESS	4208 Ashcrest St	ADDRESS	4208 Ashcrest St
CITY, STATE & ZIP	Mesquite TX 75150	CITY, STATE & ZIP	Mesquite, TX 75150
PHONE	[REDACTED]	PHONE	[REDACTED]
E-MAIL	[REDACTED]	E-MAIL	[REDACTED]

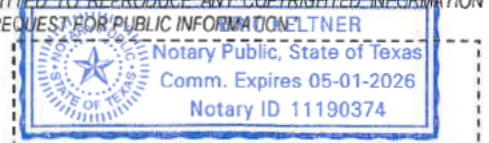
## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Lewis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 275.75 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF October, 2025

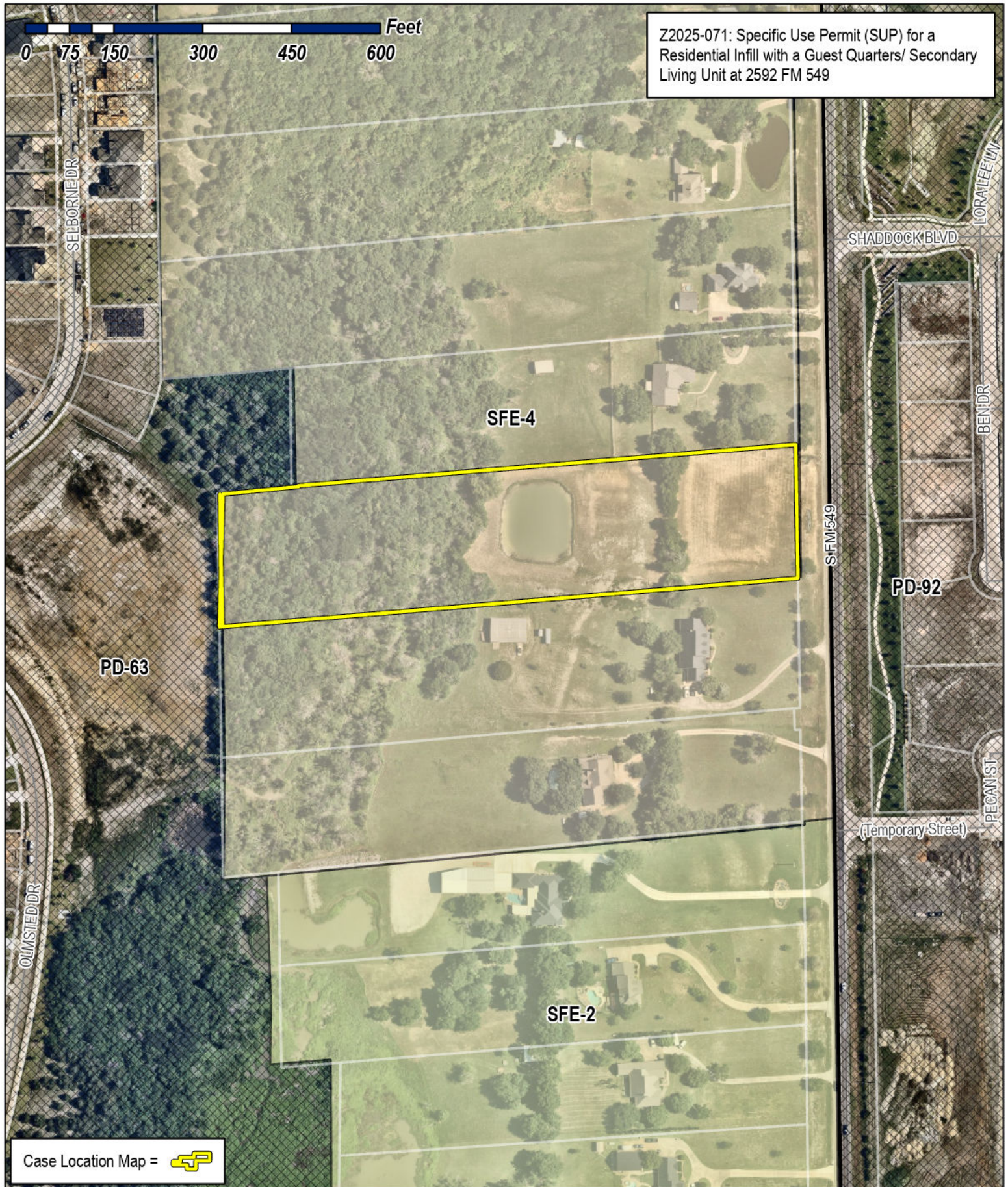
OWNER'S SIGNATURE [Signature]




NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 5/1/2026





Z2025-071: Specific Use Permit (SUP) for a Residential Infill with a Guest Quarters/ Secondary Living Unit at 2592 FM 549

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



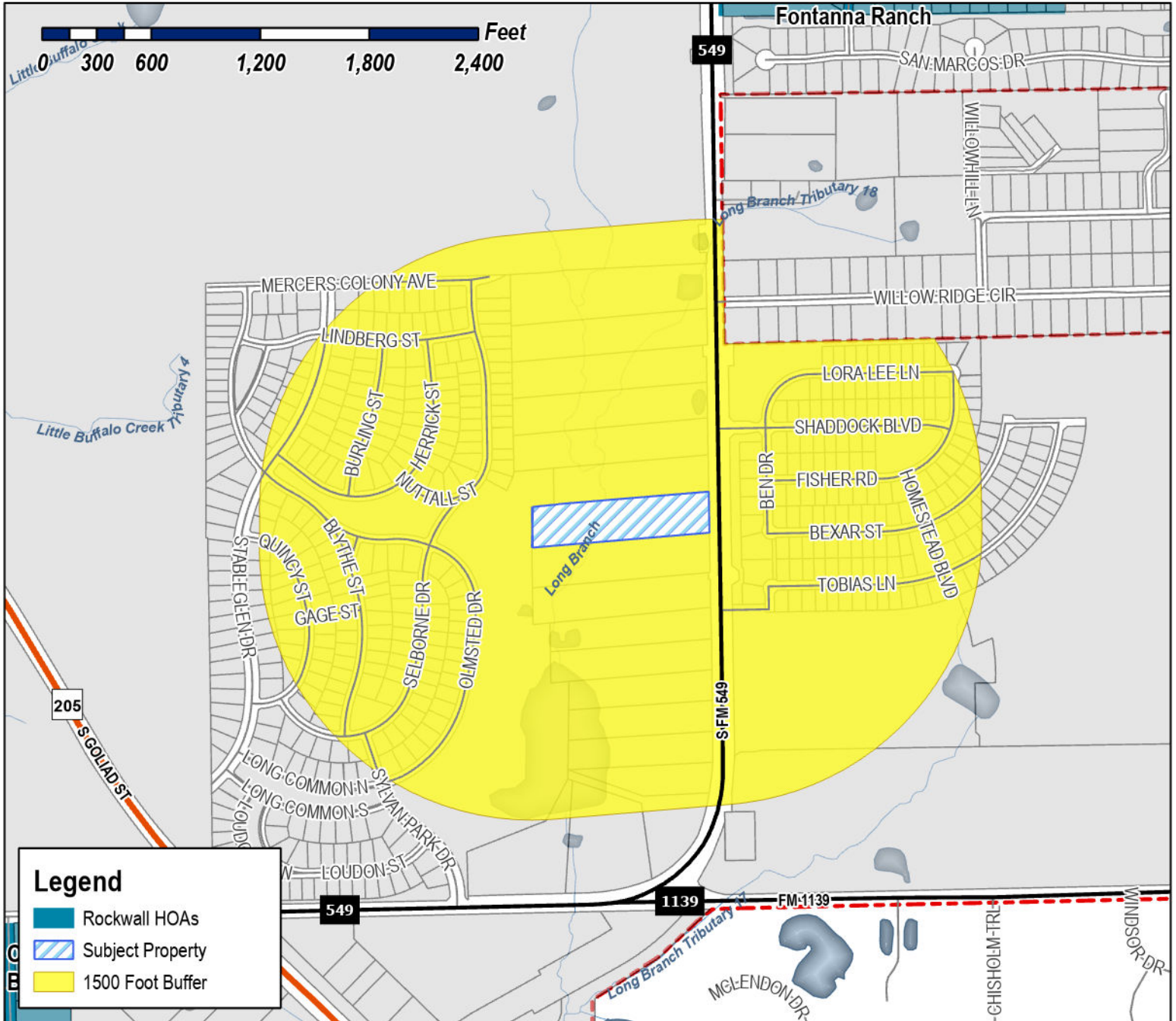




# City of Rockwall

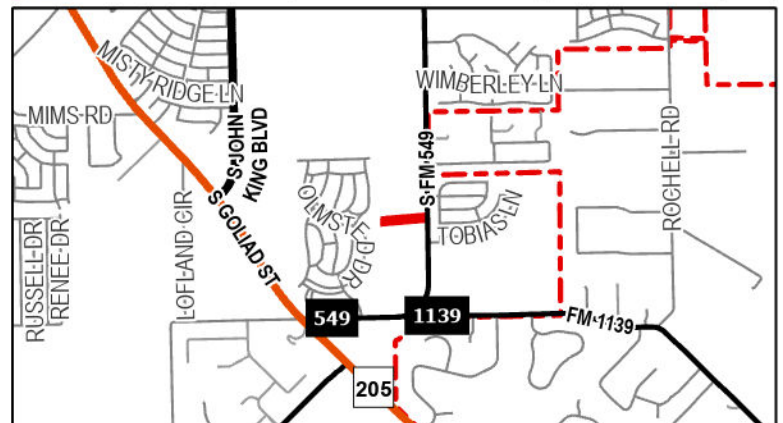
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-071  
**Case Name:** SUP for a Residential Infill with a Guest Quarters/ Secondary Living Unit  
**Case Type:** Zoning  
**Zoning:** Single-Family Estate 4 District (SFE-4)  
**Case Address:** 2592 FM 549

**Date Saved:** 10/17/2025  
 For Questions on this Case Call (972) 771-7745

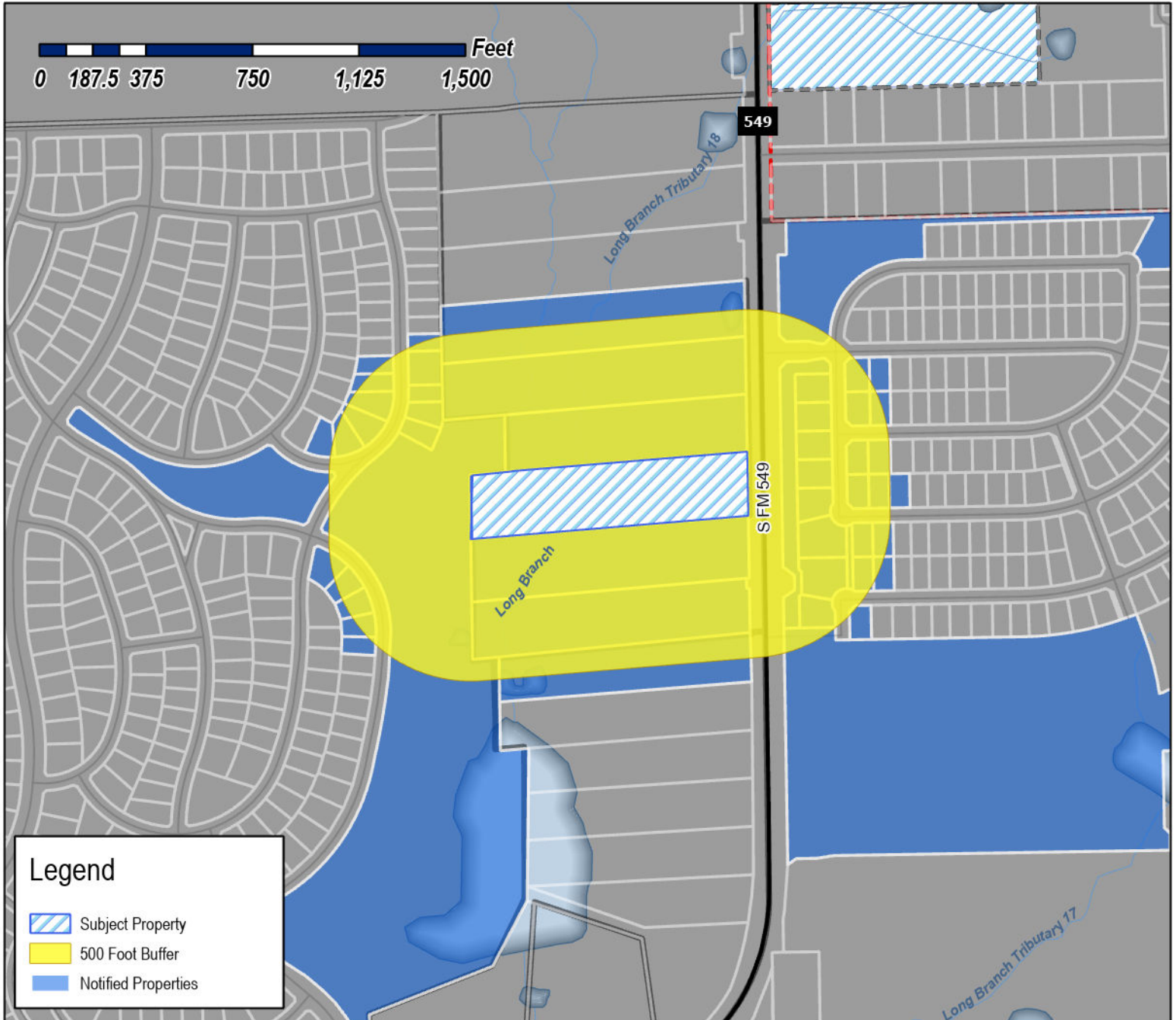




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-071

**Case Name:** SUP for a Residential Infill with a Guest Quarters/ Secondary Living Unit

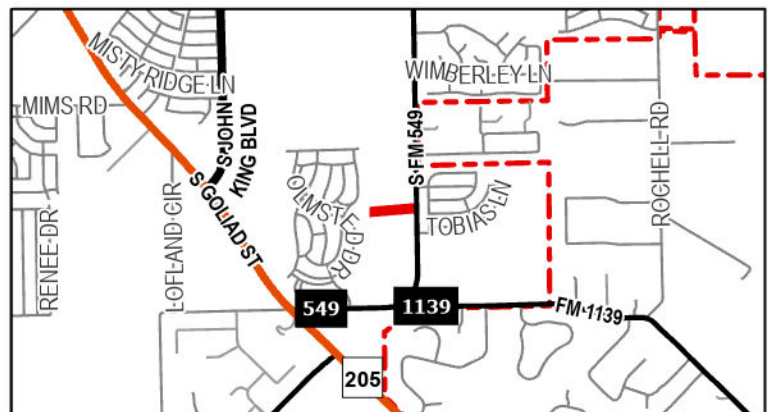
**Case Type:** Zoning

**Zoning:** Single-Family Estate 4 District (SFE-4)

**Case Address:** 2592 FM 549

**Date Saved:** 10/17/2025

For Questions on this Case Call: (972) 771-7745



SYVRUD ZACHARY J  
108 Brentwood Dr  
Heath, TX 75032

DFH COVENTRY, LLC  
14701 PHILIPS HWY STE 300  
JACKSONVILLE, FL 32256

GRAND HOMES 2014 LP  
15455 Dallas Pkwy Ste 1000  
Addison, TX 75001

SOMERSET PARK COMMUNITY ASSOCIATION,  
INC  
1800 PRESTON PARK BLVD STE 200  
PLANO, TX 75093

SH DEV KLUTTS ROCKWALL LLC  
2400 DALLAS PARKWAY SUITE 460  
PLANO, TX 75093

ACOSTA ANTHONY  
2480 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L  
2516 S FM 549  
ROCKWALL, TX 75032

DUGGAN CHRIS AND SHERRI  
2516 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2521 S FM 549  
ROCKWALL, TX 75032

RESIDENT  
2548 FM549  
ROCKWALL, TX 75032

RESIDENT  
2592 FM549  
ROCKWALL, TX 75032

RESIDENT  
2624 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2628 NUTTALL ST  
ROCKWALL, TX 75032

RESIDENT  
2638 S FM549  
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M  
2676 FM 549  
ROCKWALL, TX 75032

RESIDENT  
2716 FM549  
ROCKWALL, TX 75032

RESIDENT  
2994 S FM549  
ROCKWALL, TX 75032

RESIDENT  
3100 LORA LEE LN  
ROCKWALL, TX 75032

RESIDENT  
3101 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3101 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3102 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3102 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3103 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3103 SHADDOCK BLVD  
ROCKWALL, TX 75032

RESIDENT  
3104 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3105 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3106 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3106 FISHER RD  
ROCKWALL, TX 75032

RESIDENT  
3107 SHADDOCK BLVD  
ROCKWALL, TX 75032



MORENO JOSE ROBERTO III & ANN MARIE  
3107 BEXAR ST  
ROCKWALL, TX 75032

RESIDENT  
3108 TOBIAS LN  
ROCKWALL, TX 75032

RESIDENT  
3110 BEXAR ST  
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC  
3500 MAPLE AVENUE #1165  
DALLAS, TX 75219

RESIDENT  
3808 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3813 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3814 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3817 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3820 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3821 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3824 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3825 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3828 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3875 SELBORNE DR  
ROCKWALL, TX 75032

RESIDENT  
3950 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
3954 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4002 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4006 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4010 BEN DR  
ROCKWALL, TX 75032

RESIDENT  
4103 OLMSTEAD DR  
ROCKWALL, TX 75032

RESIDENT  
4107 OLMSTEAD DR  
ROCKWALL, TX 75032

RESIDENT  
4111 OLMSTEAD DR  
ROCKWALL, TX 75032

MCDONALD CHRISTINA MARIE  
4111 OLMSTED DR  
ROCKWALL, TX 75032

RESIDENT  
4115 OLMSTEAD DR  
ROCKWALL, TX 75032

RESIDENT  
4119 OLMSTEAD DR  
ROCKWALL, TX 75032

RESIDENT  
4120 PECAN ST  
ROCKWALL, TX 75032

LEWIS MIKE AND  
MAEGAN GREEN  
4208 ASHCREST ST  
MESQUITE, TX 75150

TRI POINTE HOMES DFW, LLC  
6201 W Plano Pkwy Ste 150  
Plano, TX 75093

DREES CUSTOM HOMES LP  
6225 N STATE HIGHWAY 161 STE 150  
IRVING, TX 75038

POWERS FAMILY TRUST  
JAMES DWAIN & PATRICIA ANNETTE POWERS  
CO TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-071: SUP for a Residential Infill with Guest a Quarters/ Secondary Living Unit at 2592 FM 549**

*Hold a public hearing to discuss and consider a request by Michael Lewis for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision and a Guest Quarters/Secondary Living Unit for the purpose of constructing a single-family home on a 5.05-acre parcel of land identified as a Lot 2, Block A, Lofland Lake Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM-549, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2025-071: SUP for a Residential Infill with Guest a Quarters/ Secondary Living Unit at 2592 FM 549**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]  
Address: [Grey box]

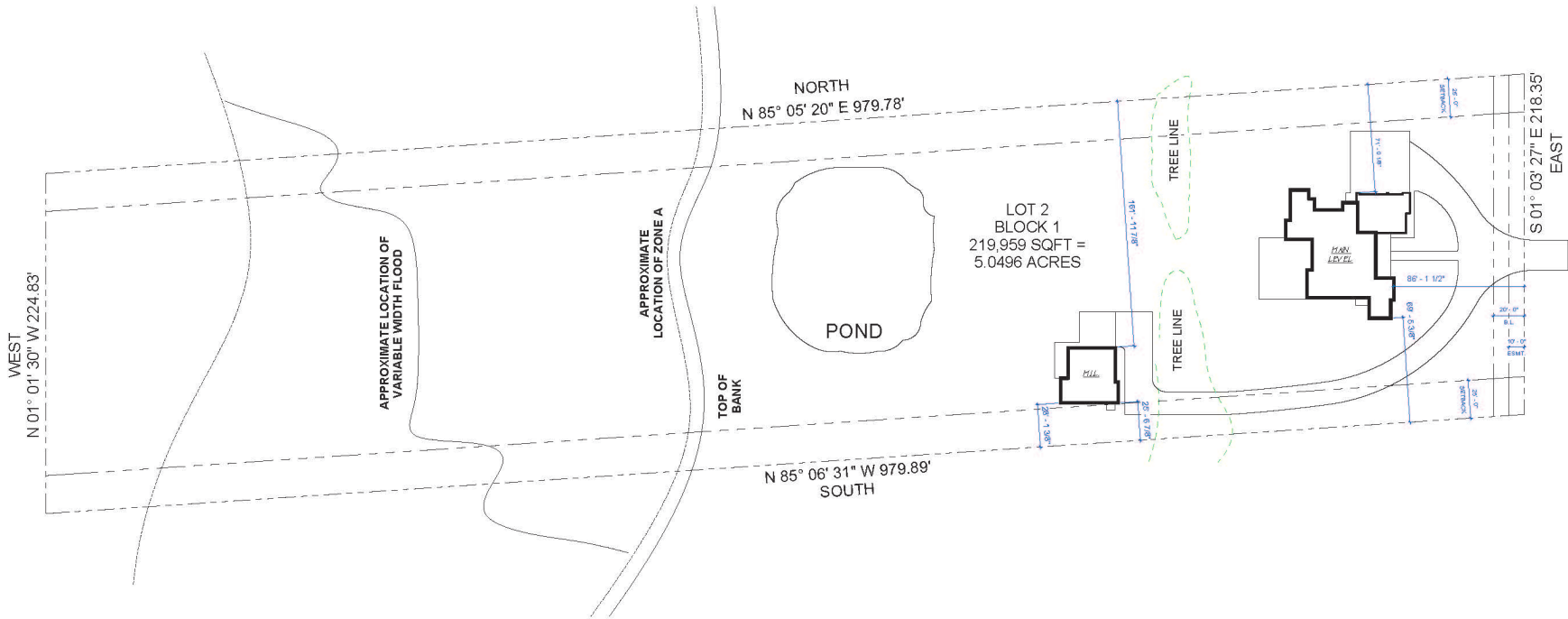
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

THE INFORMATION WAS OBTAINED BY :

SURVEY PERFORMED BY CBG SURVEYING INC.  
 1413 EAST INTERSTATE 30, SUITE 7,  
 GARLAND, TEXAS 75043  
 PH : (214) 349-9485

DATED : 06/26/2021  
 JOB # : 1712821



LOT 2  
 BLOCK 1  
 219,959 SQFT =  
 5.0496 ACRES

POND

549 FM

2592 FM 549

2592 S FARM TO  
 MARKET 549  
 ROCKWALL, TEXAS  
 75082

SITE PLAN

A.1.0

Scale As Indicated

01 SITE PLAN  
 1" = 30'-0"



**TAG & ASSOCIATES**  
 LLC  
 DESIGN • INNOVATE • CREATE

Tag & Tristan Gilkeson  
 Cell: 469.544.1000

Email: tag@designedbytag.com

SQUARE FOOTAGE	
Main Level	3,297 sq ft
M.I.L. Suite	1,267 sq ft
Main Cov'd Area	736 sq ft
M.I.L. Cov'd Area	735 sq ft
Total Under Air	4,554 sq ft
Garage	884 sq ft
<b>Total Square Feet</b>	<b>6,909 sq ft</b>

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11/04/2025 12:30:05 PM







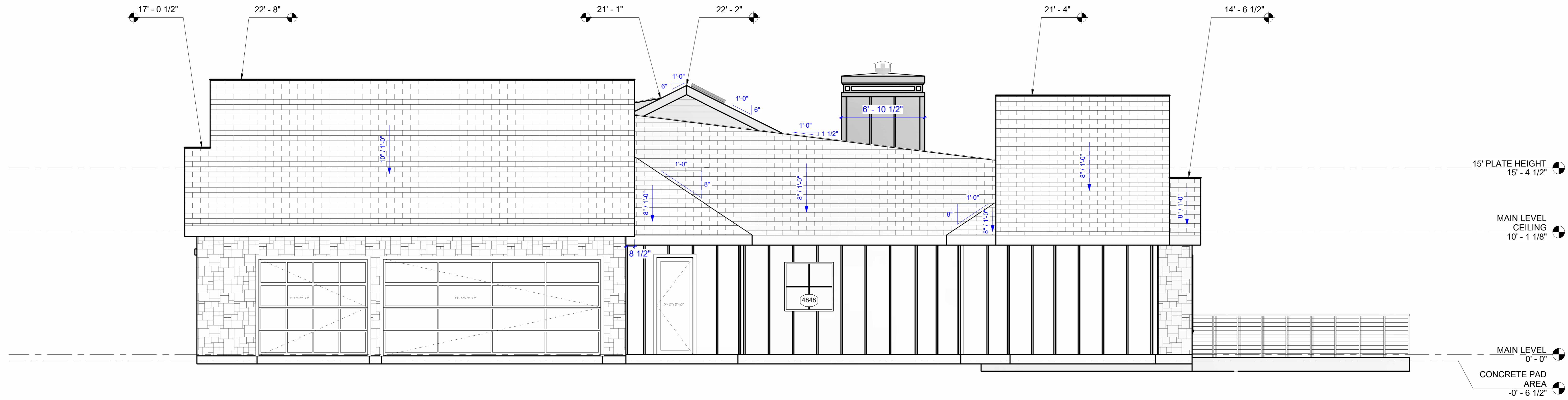


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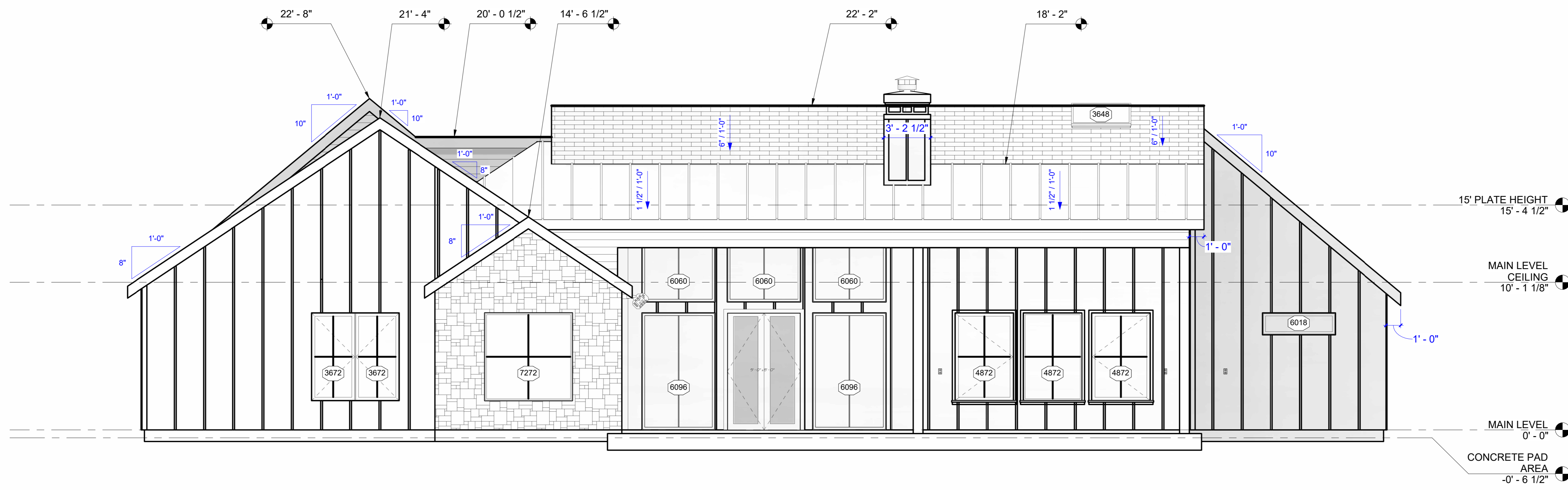
Tag & Tristan Gilkeson  
Cell: 469.544.1000

Email: tag@designedbytag.com

SQUARE FOOTAGE	
Main Level	3,287 sq ft
M.I.L. Suite	1,267 sq ft
Main Cov'd Area	736 sq ft
M.I.L. Cov'd Area	735 sq ft
Total Under Air	4,554 sq ft
Garage	884 sq ft
<b>Total Square Feet</b>	<b>6,909 sq ft</b>



**01 SOUTH VIEW - MAIN HOUSE RIGHT**  
1/4" = 1'-0"



**02 EAST VIEW - MAIN HOUSE REAR**  
1/4" = 1'-0"

**2592 FM 549**

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2592 S FARM TO  
MARKET 549  
ROCKWALL, TEXAS  
75032

ELEVATIONS

**A4.06**

Scale 1/4" = 1'-0"

11/04/2025 12:46:12 PM









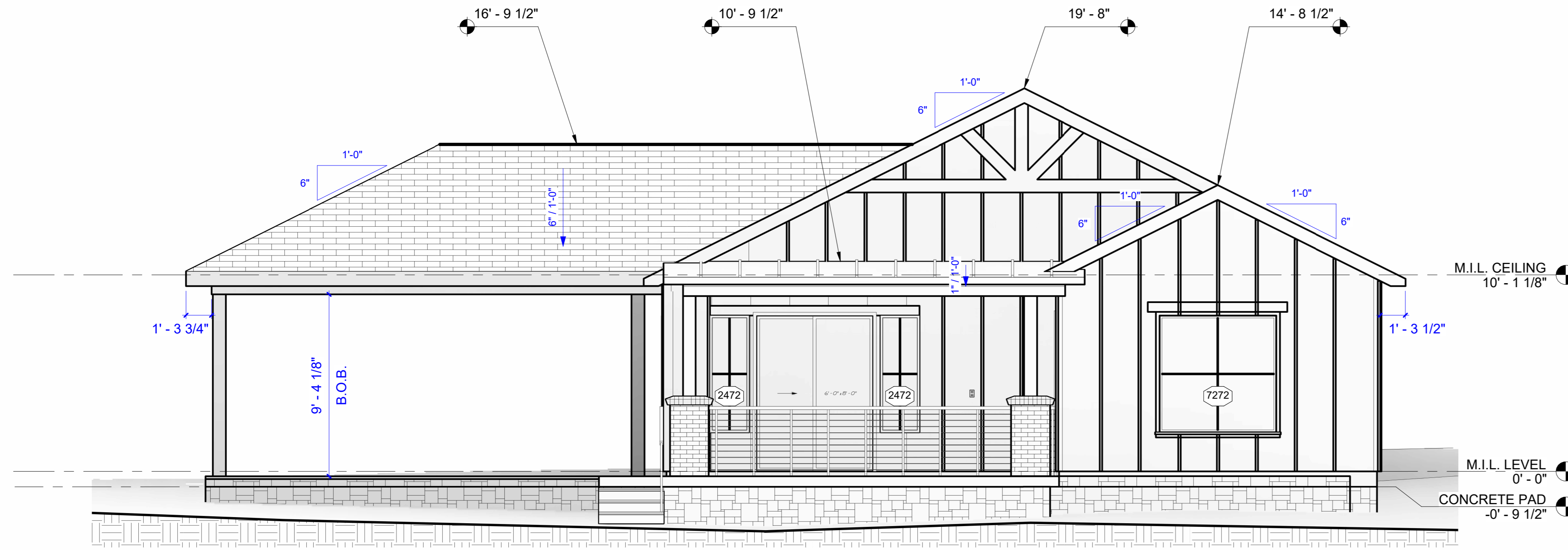
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Tag & Tristan Gilkeson  
Cell: 469.544.1000

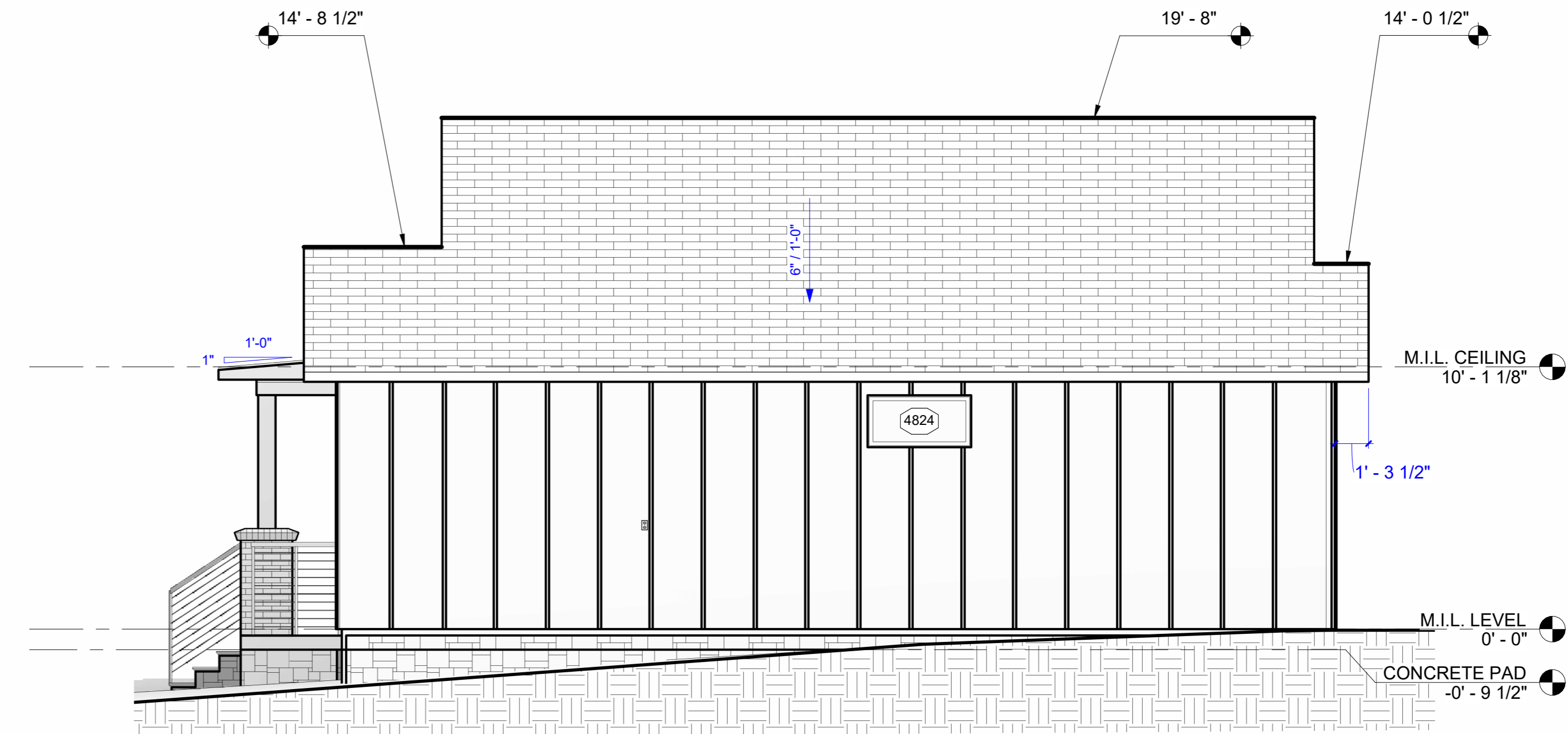
Email: tag@designedbytag.com

**SQUARE FOOTAGE**

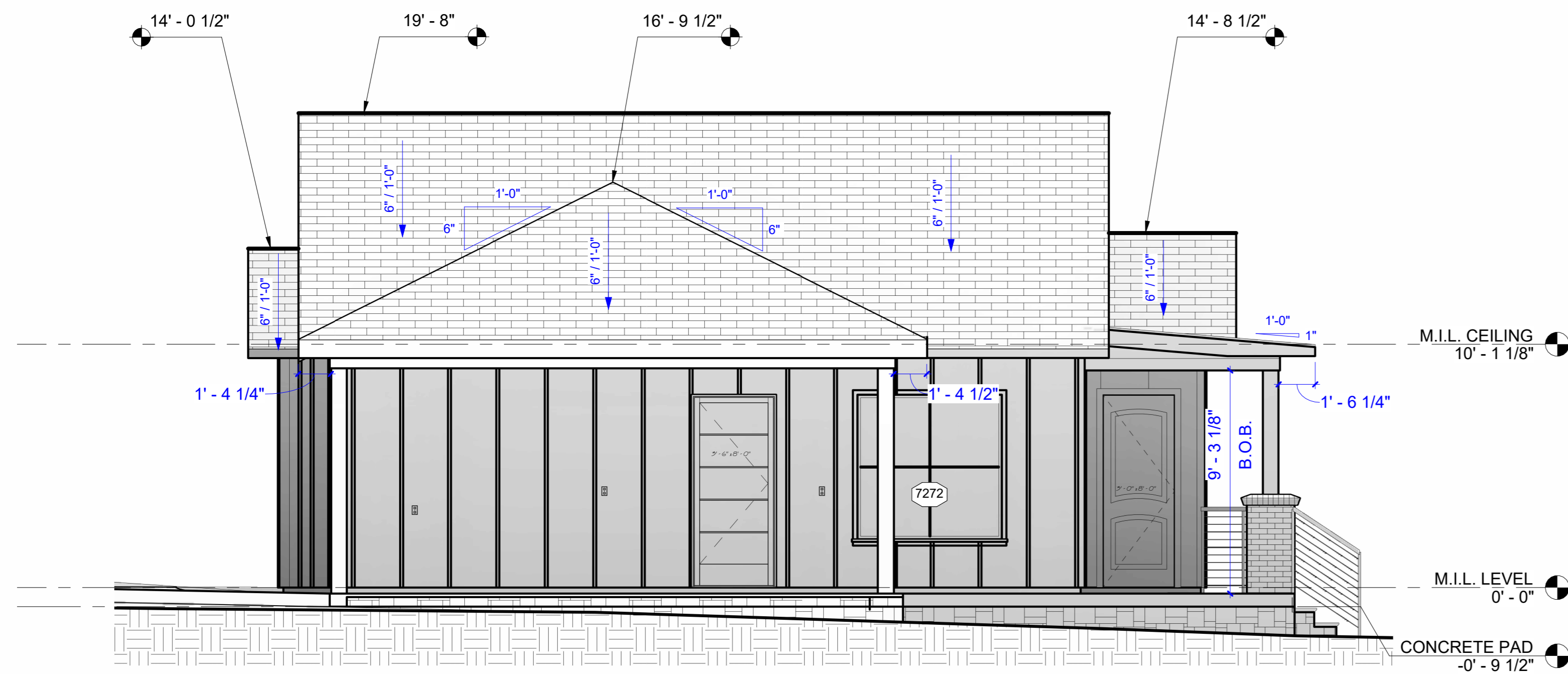
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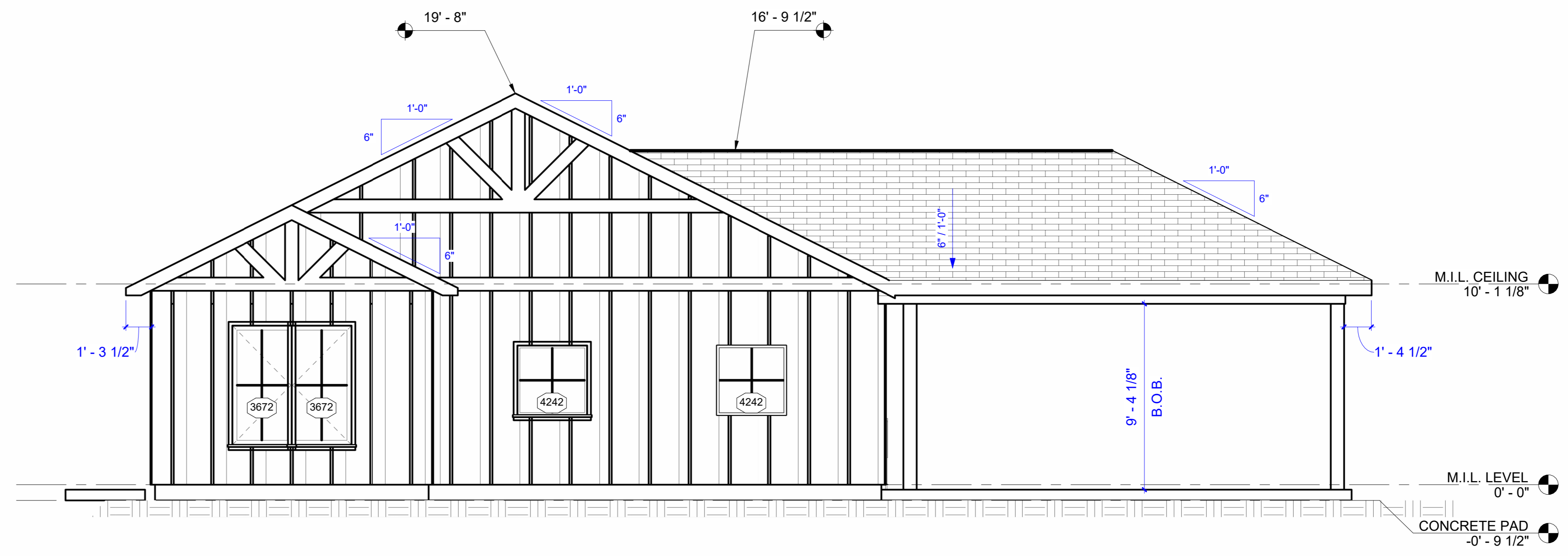
**01 EAST VIEW - M.I.L. REAR**  
1/4" = 1'-0"



**02 NORTH VIEW - M.I.L. HOUSE LEFT**  
1/4" = 1'-0"



**03 SOUTH VIEW - M.I.L. HOUSE RIGHT**  
1/4" = 1'-0"



**04 WEST VIEW - M.I.L. HOUSE FRONT**  
1/4" = 1'-0"

**2592 FM 549**

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2592 S FARM TO  
MARKET 549  
ROCKWALL, TEXAS  
75032

M.I.L. ELEVATIONS

**A4.07**  
Scale 1/4" = 1'-0"





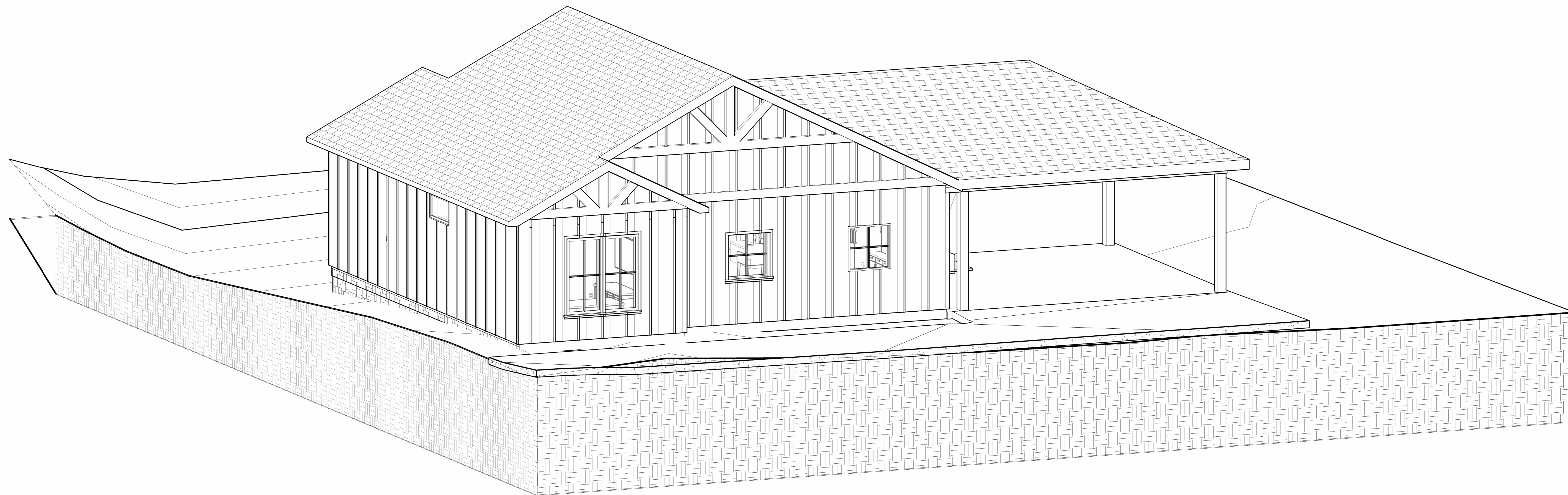
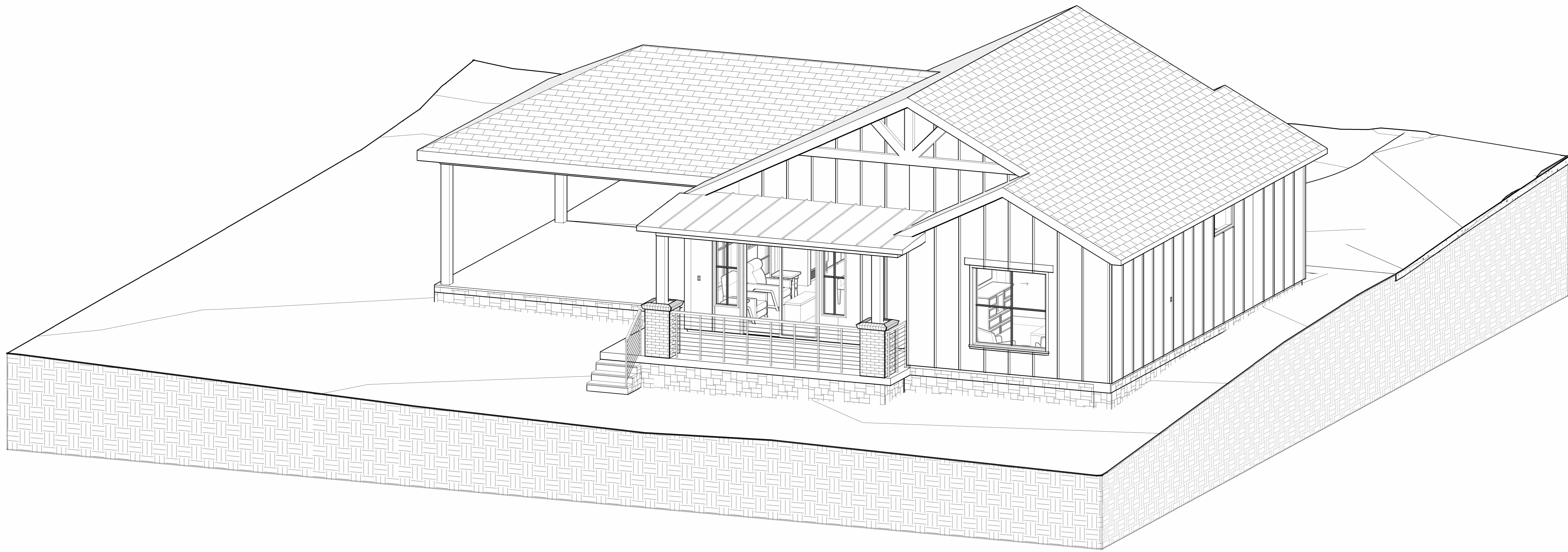
**TAG & ASSOCIATES**  
L L C  
DESIGN • INNOVATE • CREATE

Tag & Tristan Gilkeson  
Cell: 469.544.1000

Email: tag@designedbytag.com

**SQUARE FOOTAGE**

<b>Main Level</b>	<b>3,287 sq ft</b>
<b>M.I.L. Suite</b>	<b>1,267 sq ft</b>
<b>Main Cov'd Area</b>	<b>736 sq ft</b>
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<b>Garage</b>	<b>884 sq ft</b>
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**2592 FM 549**

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2592 S FARM TO  
MARKET 549  
ROCKWALL, TEXAS  
75032

M.I.L. 3D  
ELEVATIONS

**A4.08**

Scale



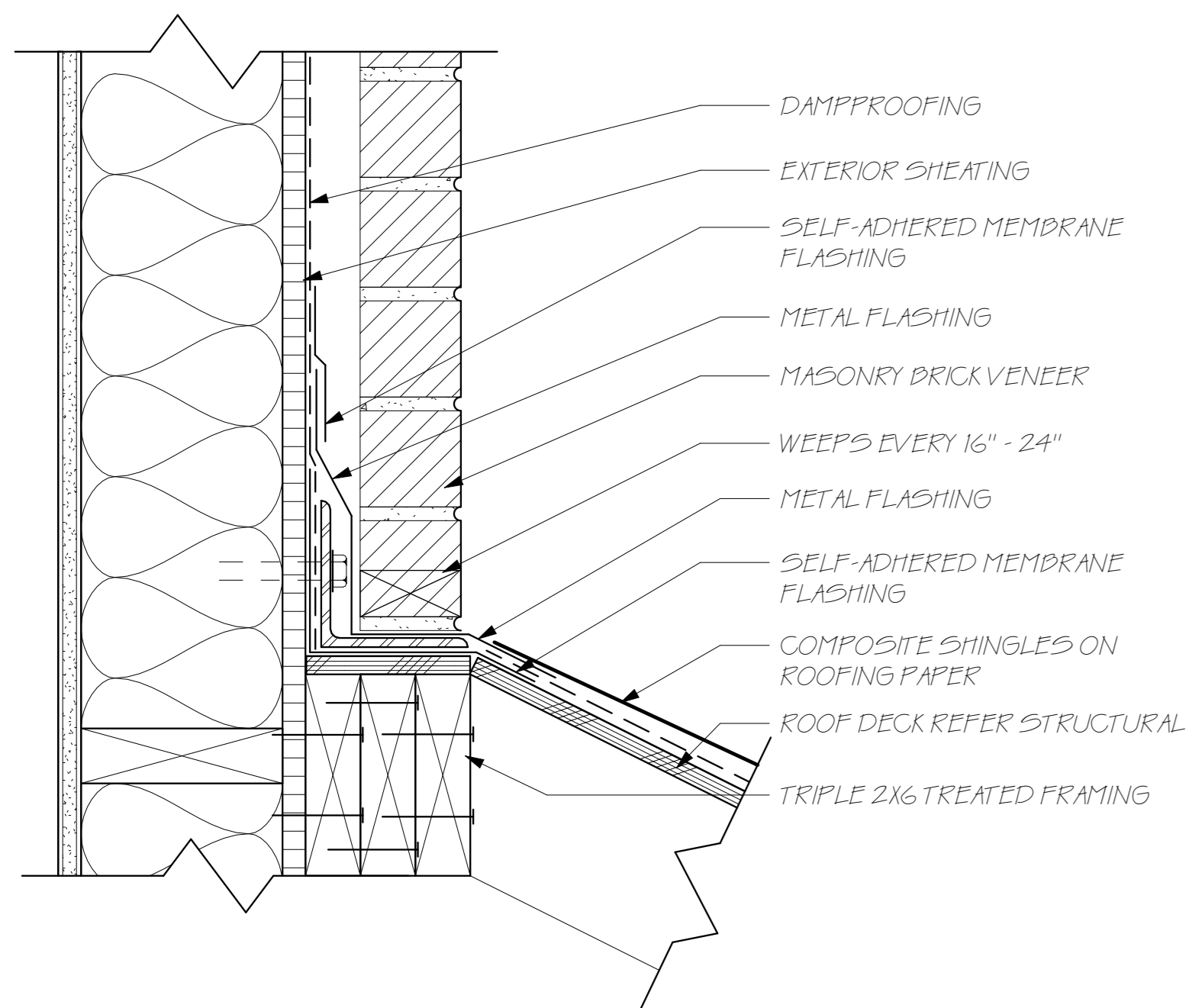


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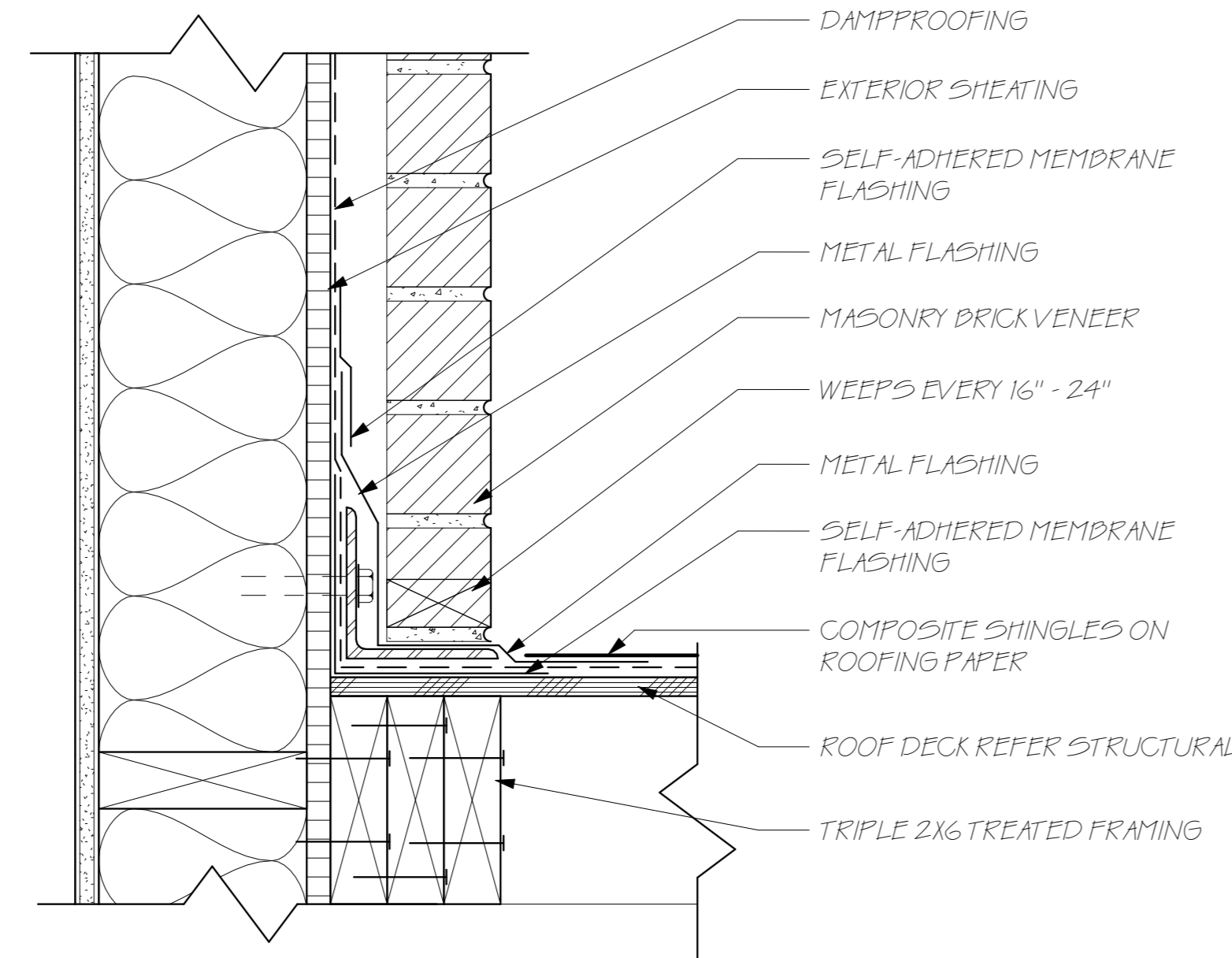
Tag & Tristan Gilkeson  
Cell: 469.544.1000

Email: tag@designedbytag.com

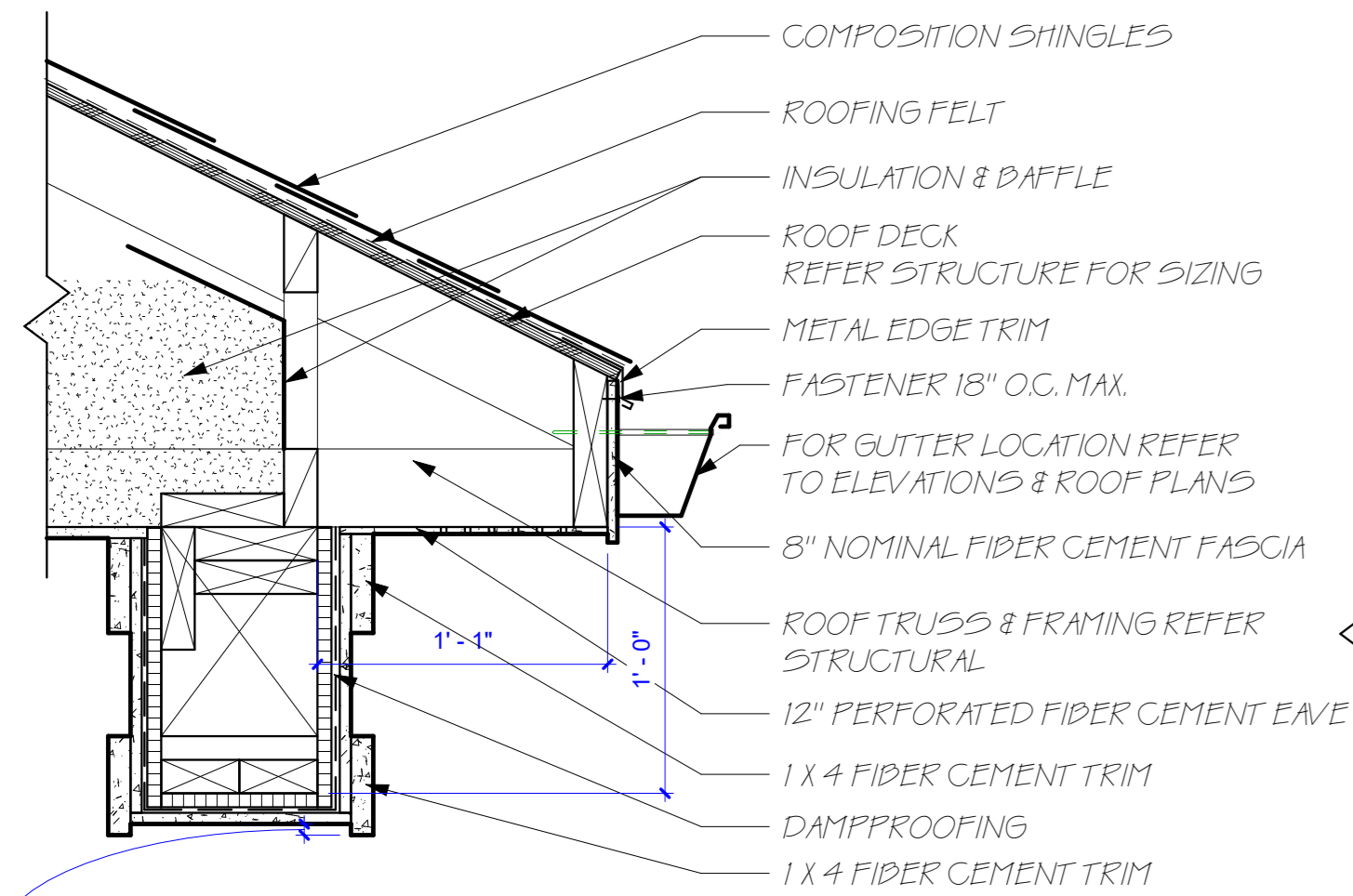
SQUARE FOOTAGE	
Main Level	3,287 sq ft
Total Under Air	3,287 sq ft
Main Cov'd Area	736 sq ft
Garage	884 sq ft
Detached Dwelling	1,267 sq ft
DD - Cov'd	735 sq ft
<b>Total Square Feet</b>	<b>6,909 sq ft</b>



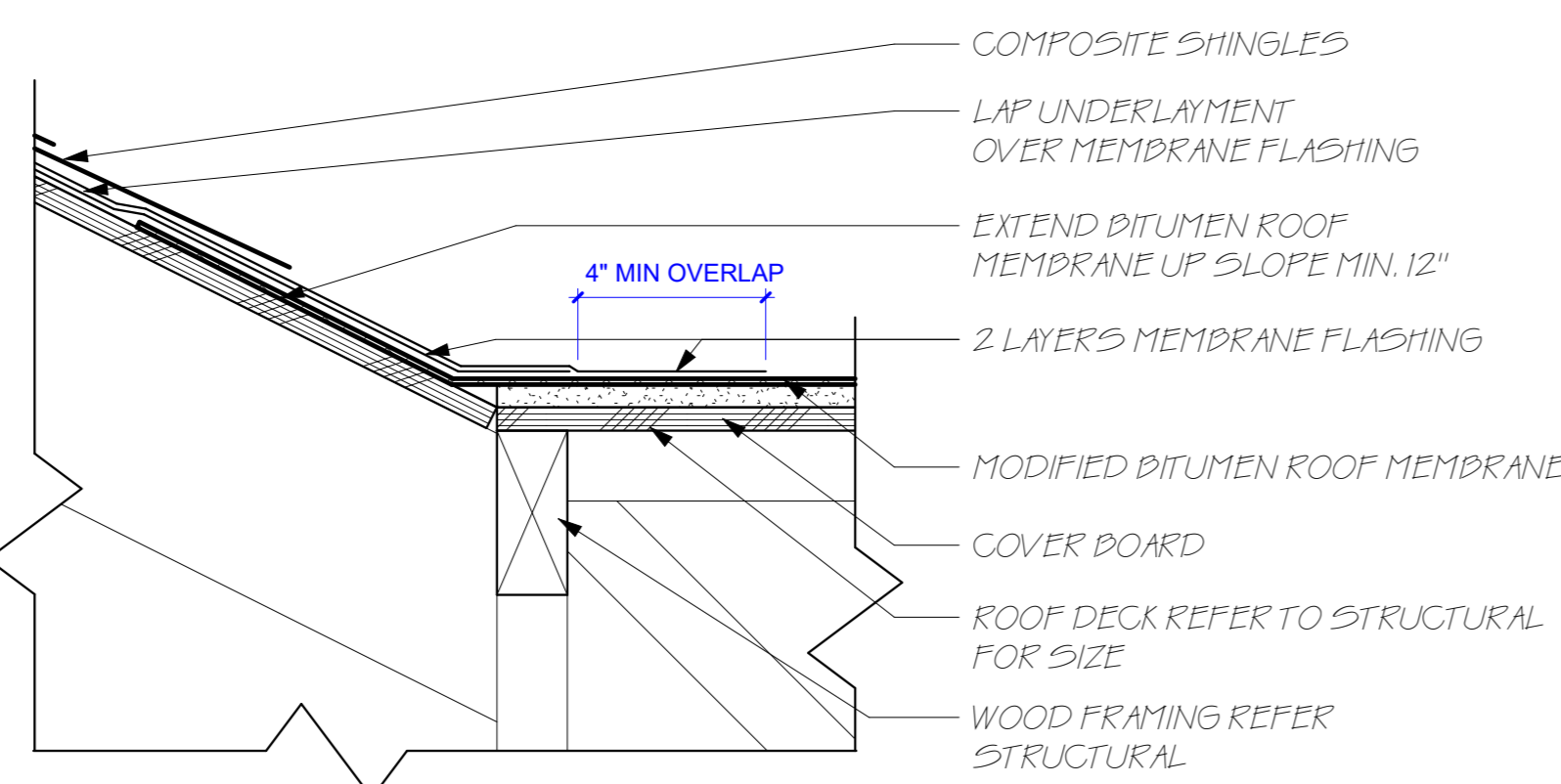
**01** BRICK HEAD WALL TO ROOF  
3" = 1'-0"



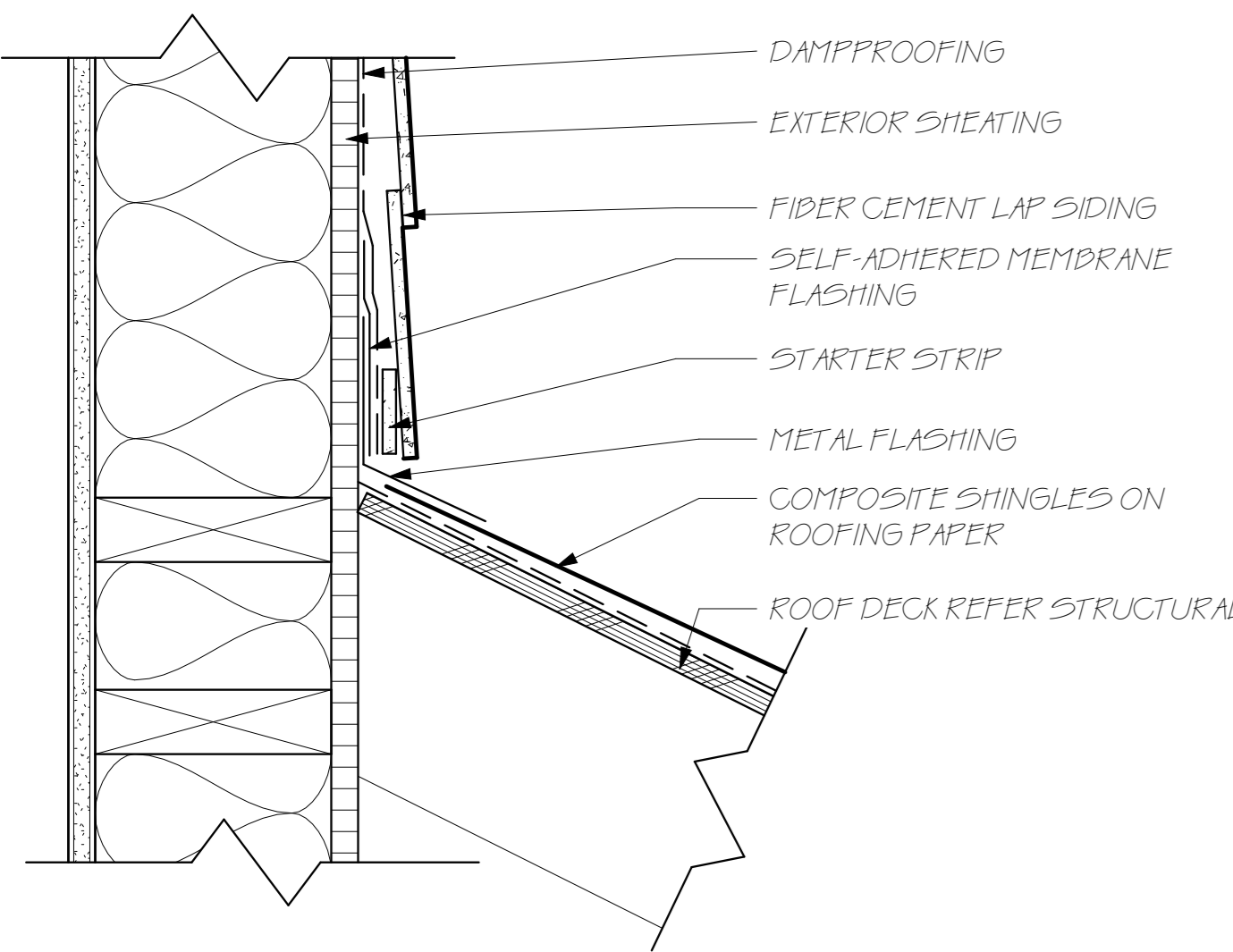
**05** BRICK RAKE WALL TO ROOF  
3" = 1'-0"



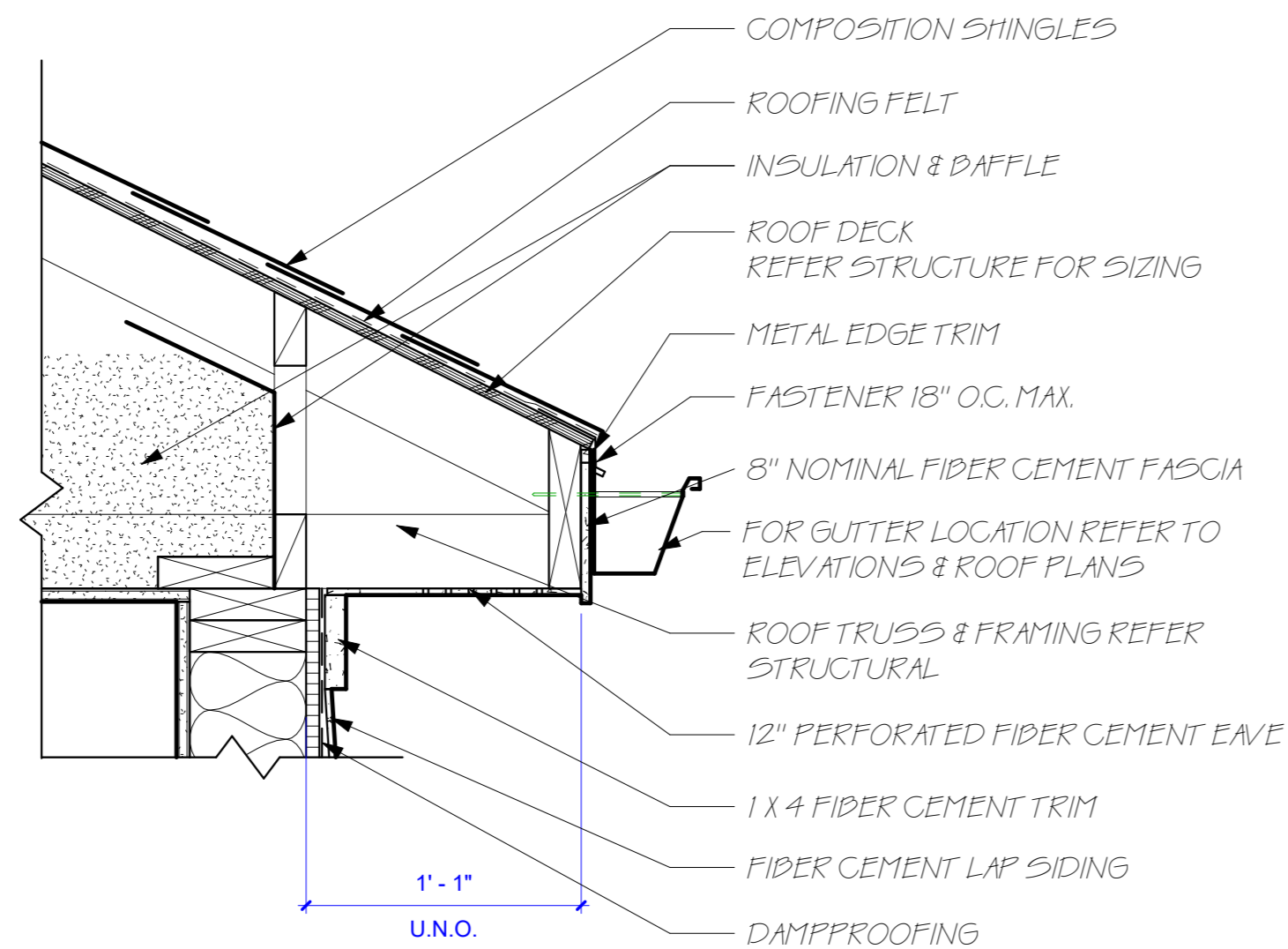
**02** TYP ROOF OVERHANG  
AT BALCONY  
1 1/2" = 1'-0"



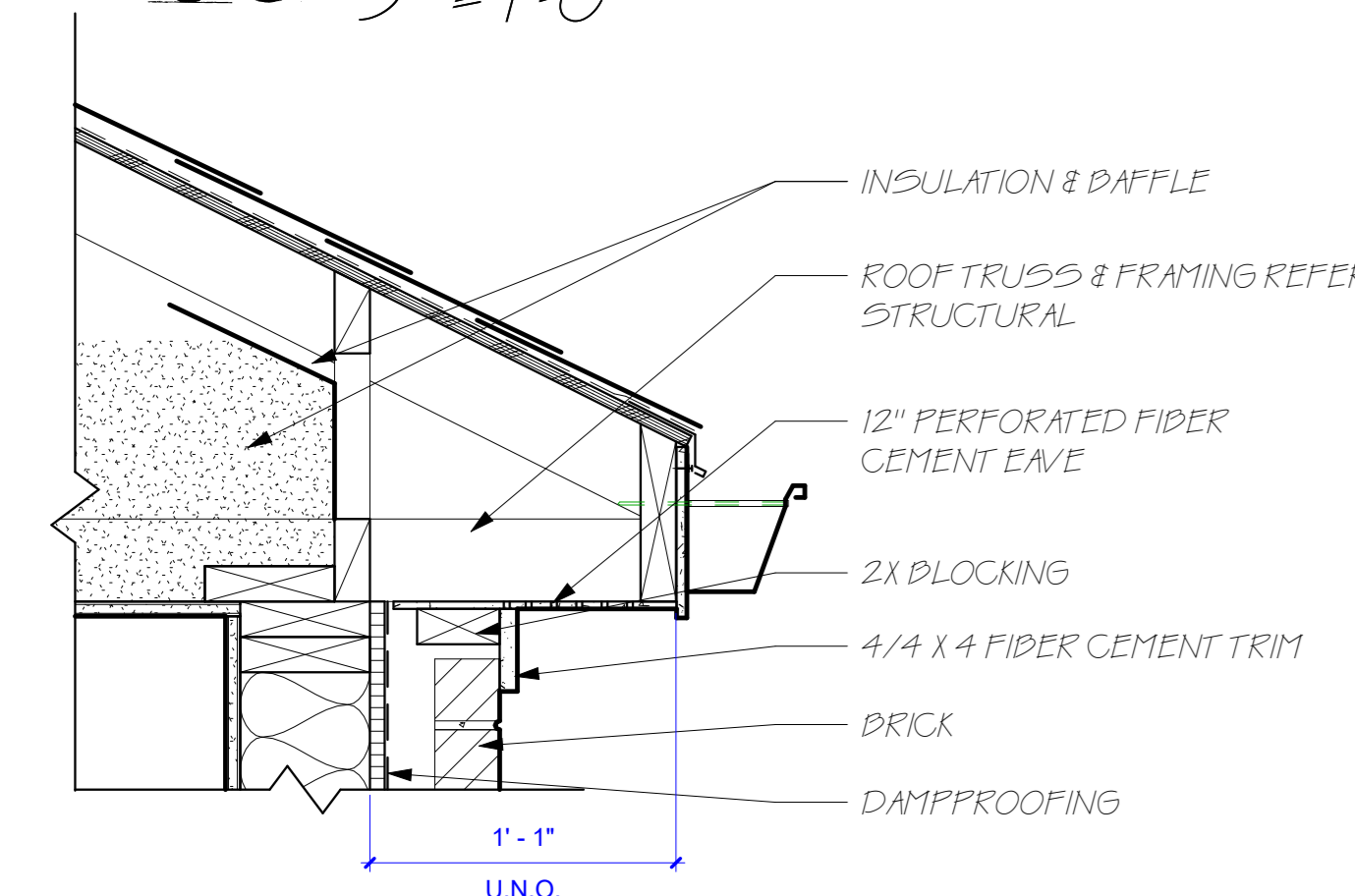
**06** SHINGLE ROOF TO  
MODIFIED BIT ROOF  
3" = 1'-0"



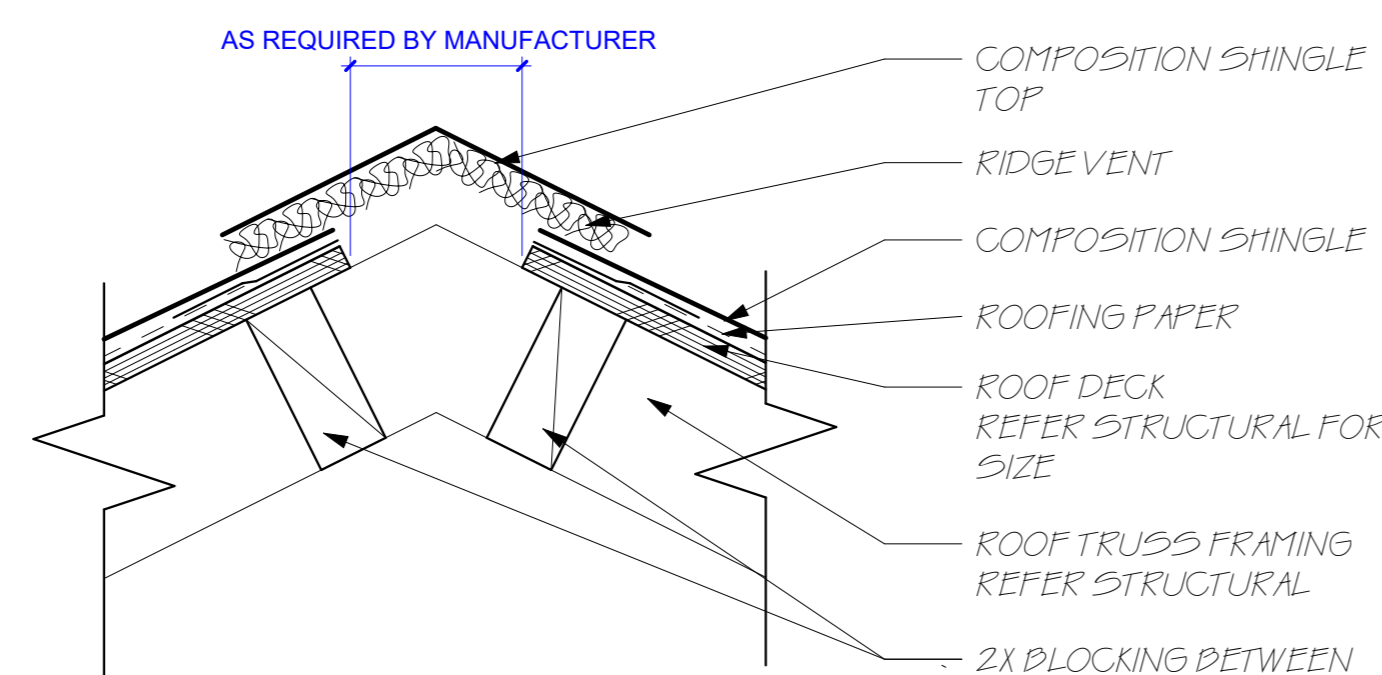
**03** SIDING HEAD WALL TO ROOF  
3" = 1'-0"



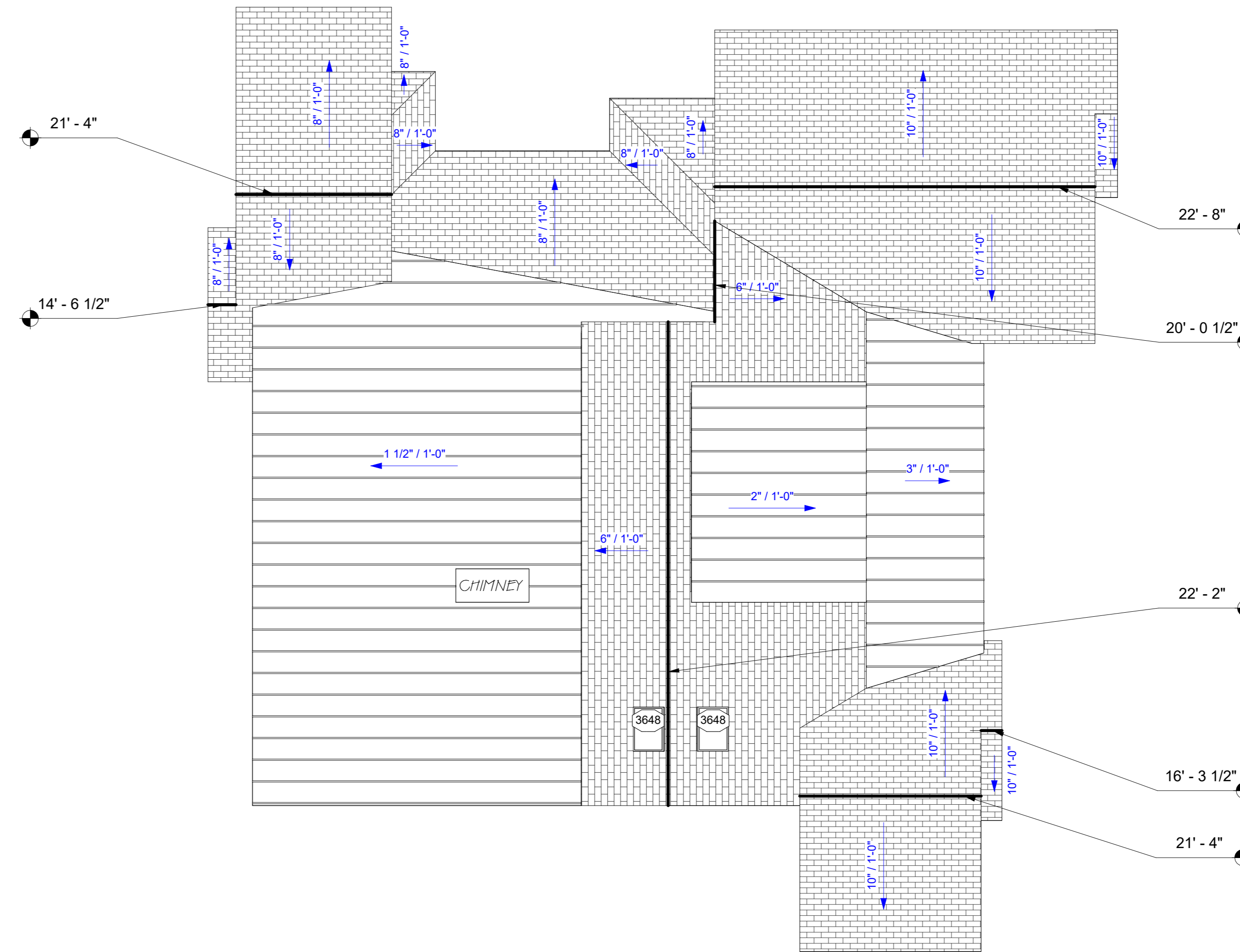
**07** TYP ROOF OVERHANG  
AT SIDING  
1 1/2" = 1'-0"



**04** TYP ROOF OVERHANG  
AT BRICK  
1 1/2" = 1'-0"

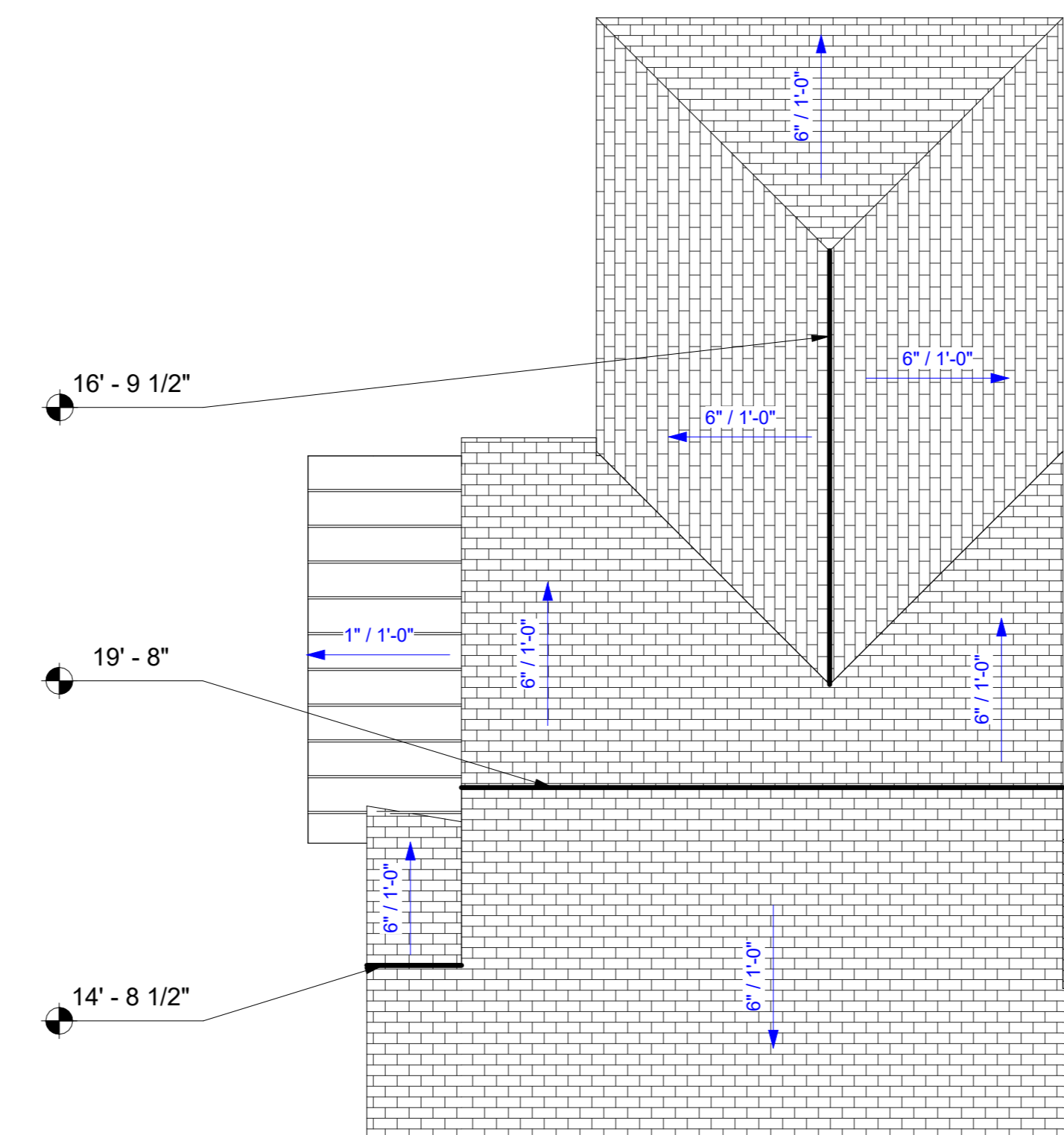


**08** TYP RIDGE VENT  
3" = 1'-0"



**09** MAIN HOUSE ROOF PLAN  
1/8" = 1'-0"

NOTE: MAIN HOUSE ROOF AND M.I.L. ROOF  
SHOWN IN RELATION TO EACH OTHER.  
DOES NOT REFLECT ACTUAL DISTANCE  
FROM EACH OTHER.



**10** M.I.L. ROOF PLAN  
1/8" = 1'-0"

**2592 FM 549**

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2592 S FARM TO  
MARKET 549  
ROCKWALL, TEXAS  
75032

ROOF DETAILS

**A2.70**

Scale As indicated

10/17/2025 10:17:07 AM



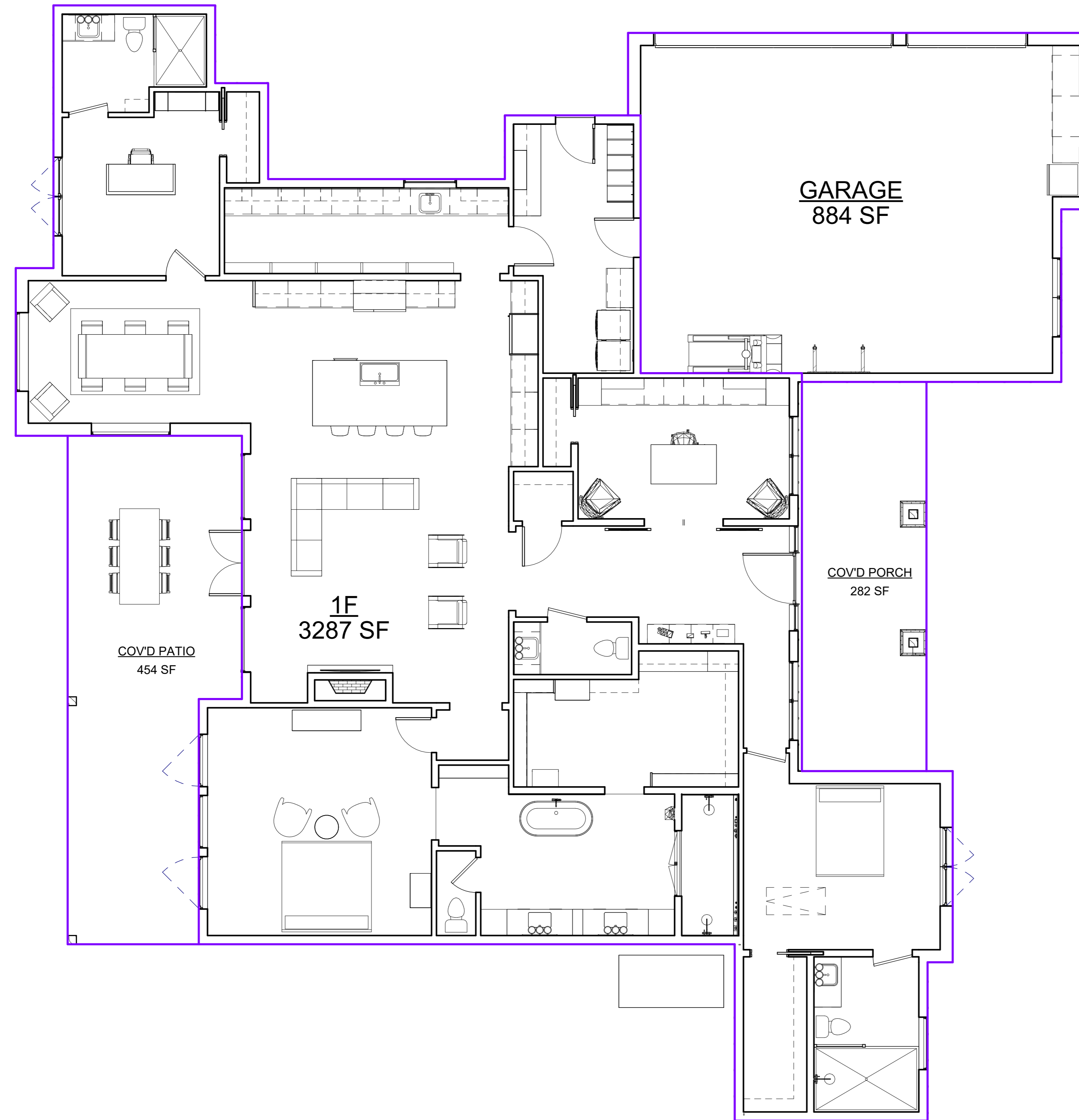


**TAG & ASSOCIATES**  
L L C  
DESIGN • INNOVATE • CREATE

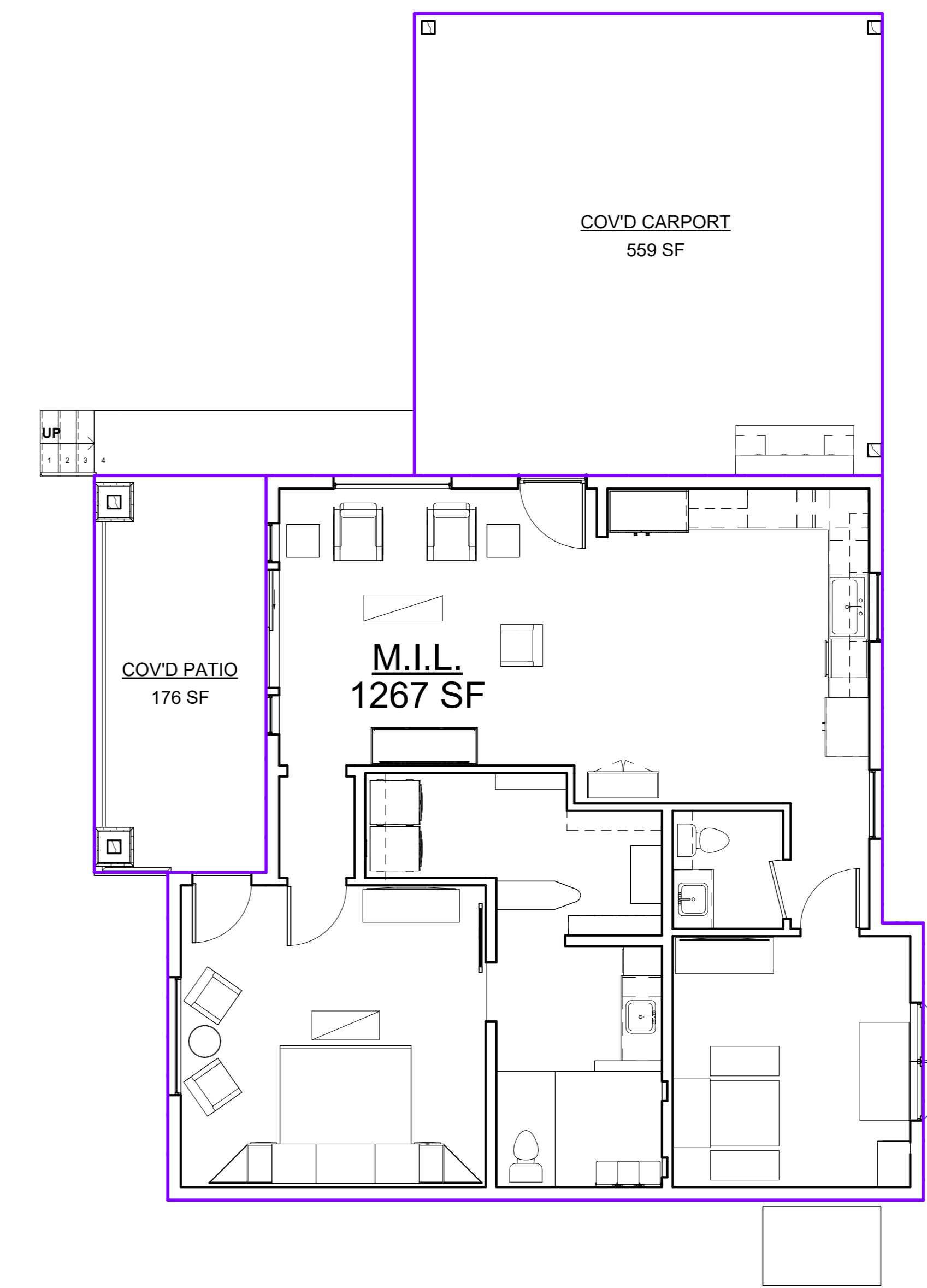
Tag & Tristan Gilkeson  
Cell: 469.544.1000

Email: tag@designedbytag.com

SQUARE FOOTAGE	
Main Level	3,287 sq ft
M.I.L. Suite	1,267 sq ft
Main Cov'd Area	736 sq ft
M.I.L. Cov'd Area	735 sq ft
Total Under Air	4,554 sq ft
Garage	884 sq ft
<b>Total Square Feet</b>	<b>6,909 sq ft</b>



**01** MAIN LEVEL  
3/16" = 1'-0"



**02** M.I.L. LEVEL  
3/16" = 1'-0"

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# 2592 FM 549

2592 S FARM TO MARKET 549  
ROCKWALL, TEXAS  
75032

AREA PLANS

**A2.13**

Scale 3/16" = 1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION AND A GUEST QUARTERS/SECONDARY LIVING UNIT* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME AND GUEST QUARTERS ON A 5.05-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK 1, LOFLAND LAKE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Michael Lewis for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision and Guest Quarters/Secondary Living Unit* on a 5.05-acre parcel of land identified as Lot 2, Block 1, Lofland Lake Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family Estate 4.0 (SFE-4.0) District, addressed as 2592 FM 549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision and a Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.04, *General Residential District Standards*, and Subsection 03.09, *Single Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified

Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and *Guest Quarters/Secondary Living Unit* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Single-Family Home and Guest Quarters/Secondary Living Unit* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibits 'C' & 'D'* and the *Floor Plans* depicted in *Exhibit 'E'* of this ordinance.
- 3) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum of 1,270 SF.
- 4) The *Guest Quarters/Secondary Living Unit* shall not incorporate kitchen facilities.
- 5) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and



the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

2<sup>nd</sup> Reading: December 1, 2025

**Exhibit 'A':  
Location Map**

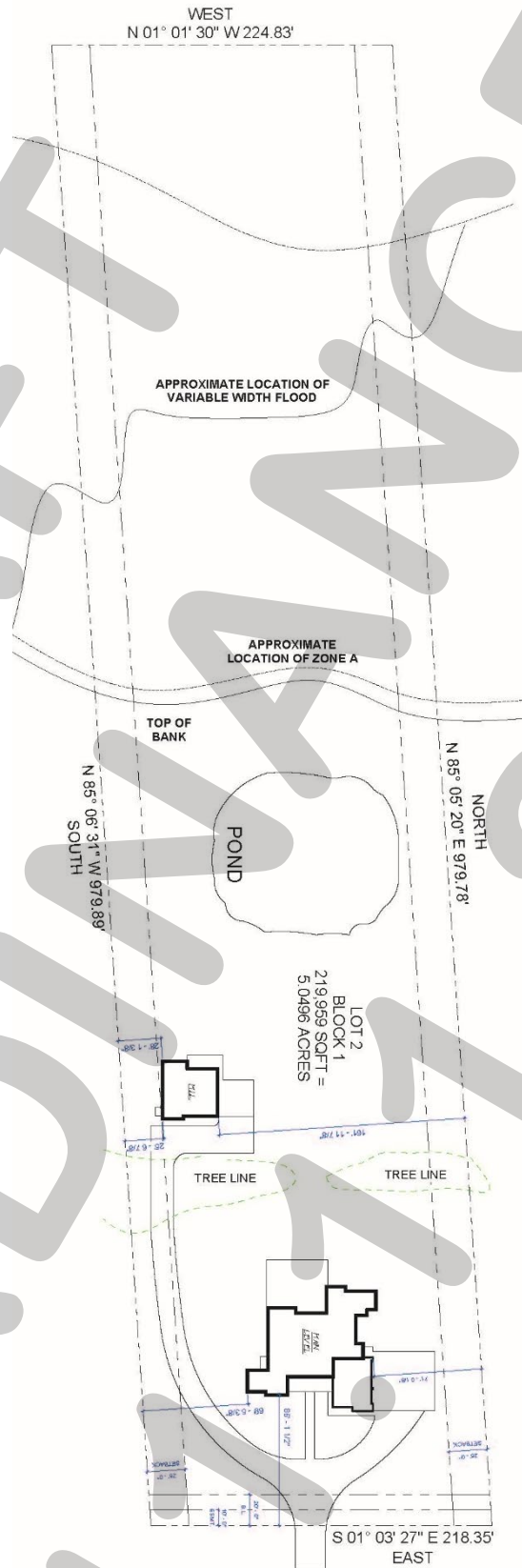
Address: 2592 FM-549

Legal Description: Lot 2, Block 1, Lofland Lake Estates Addition



**Exhibit 'B':**  
**Residential Plot Plan**

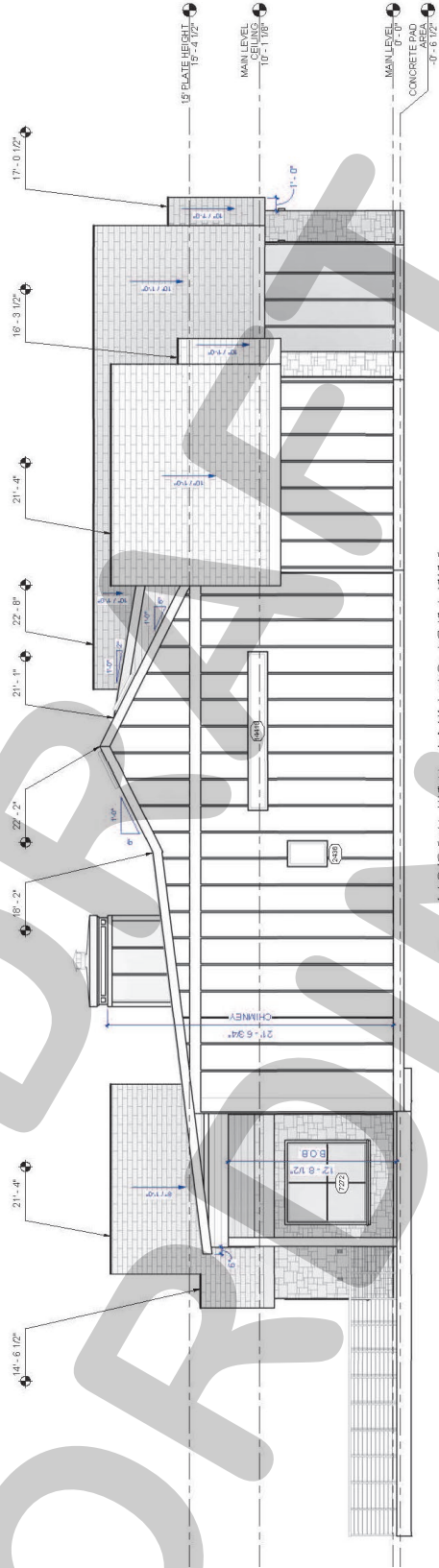
DRAFT ORDINANCE 2025



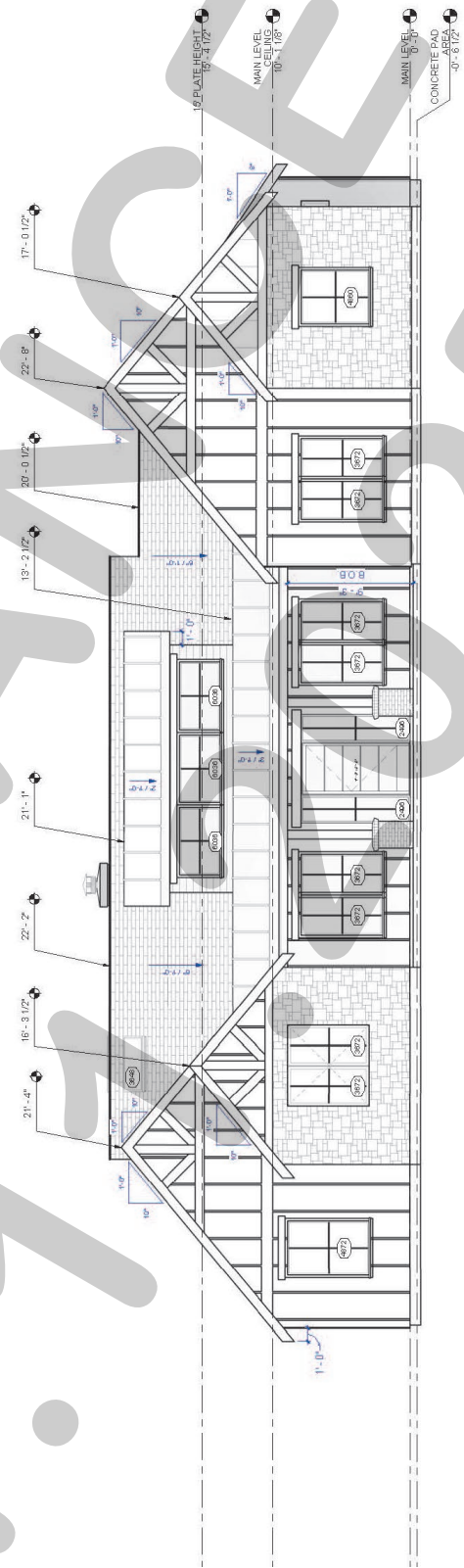
549 FM



**Exhibit 'C':**  
**Building Elevations: Primary Structure**

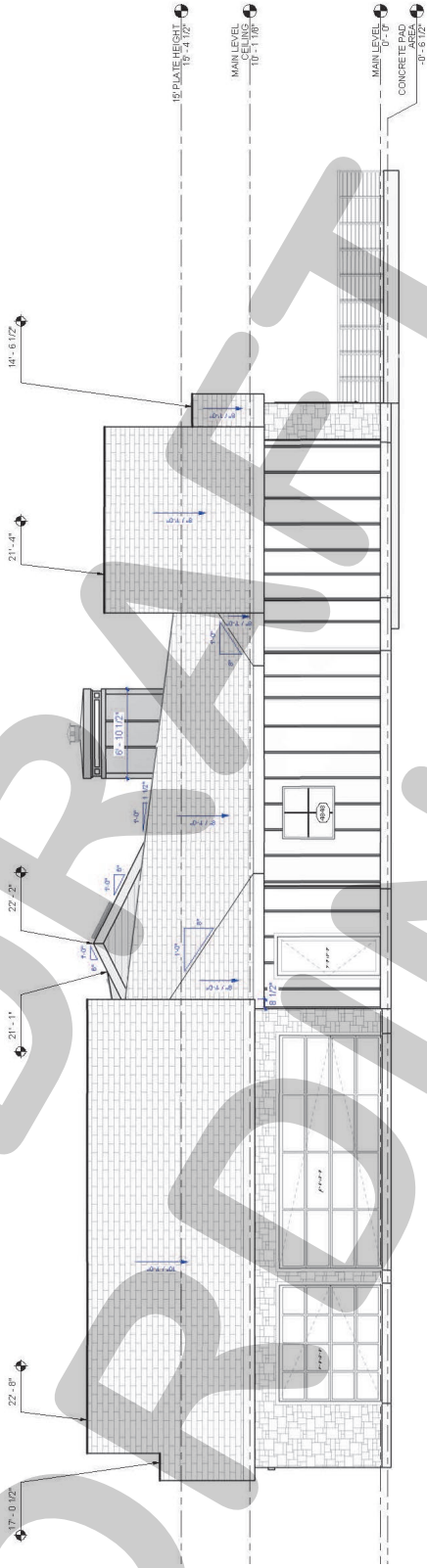


**01** NORTH VIEW - MAIN HOUSE LEFT  
 1/4" = 1'-0"

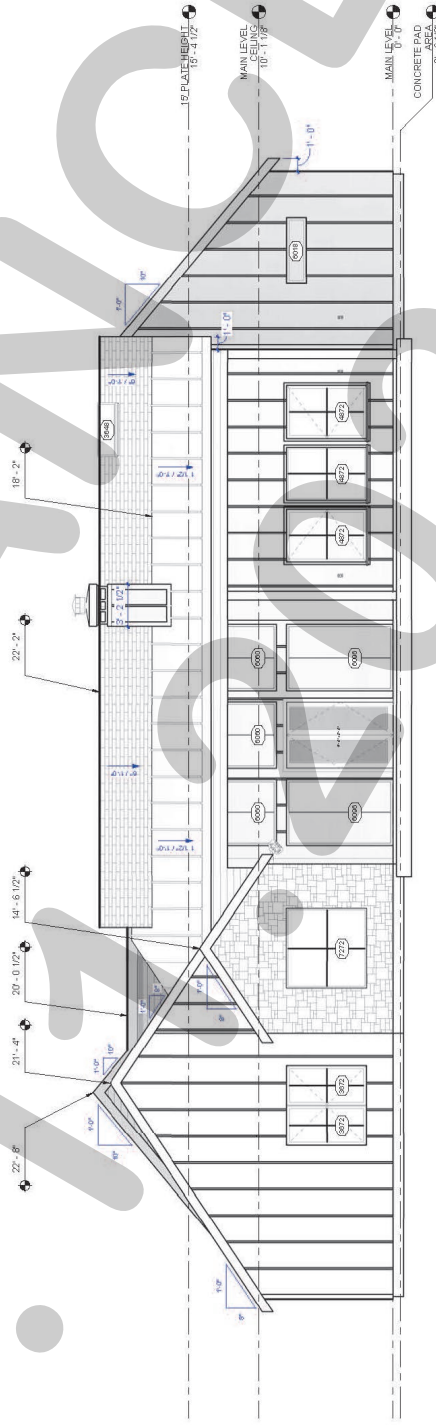


**02** WEST VIEW - MAIN HOUSE FRONT  
 1/4" = 1'-0"

**Exhibit 'C':**  
**Building Elevations: Primary Structure**



**01 SOUTH VIEW - MAIN HOUSE RIGHT**  
*1/4" = 1'-0"*

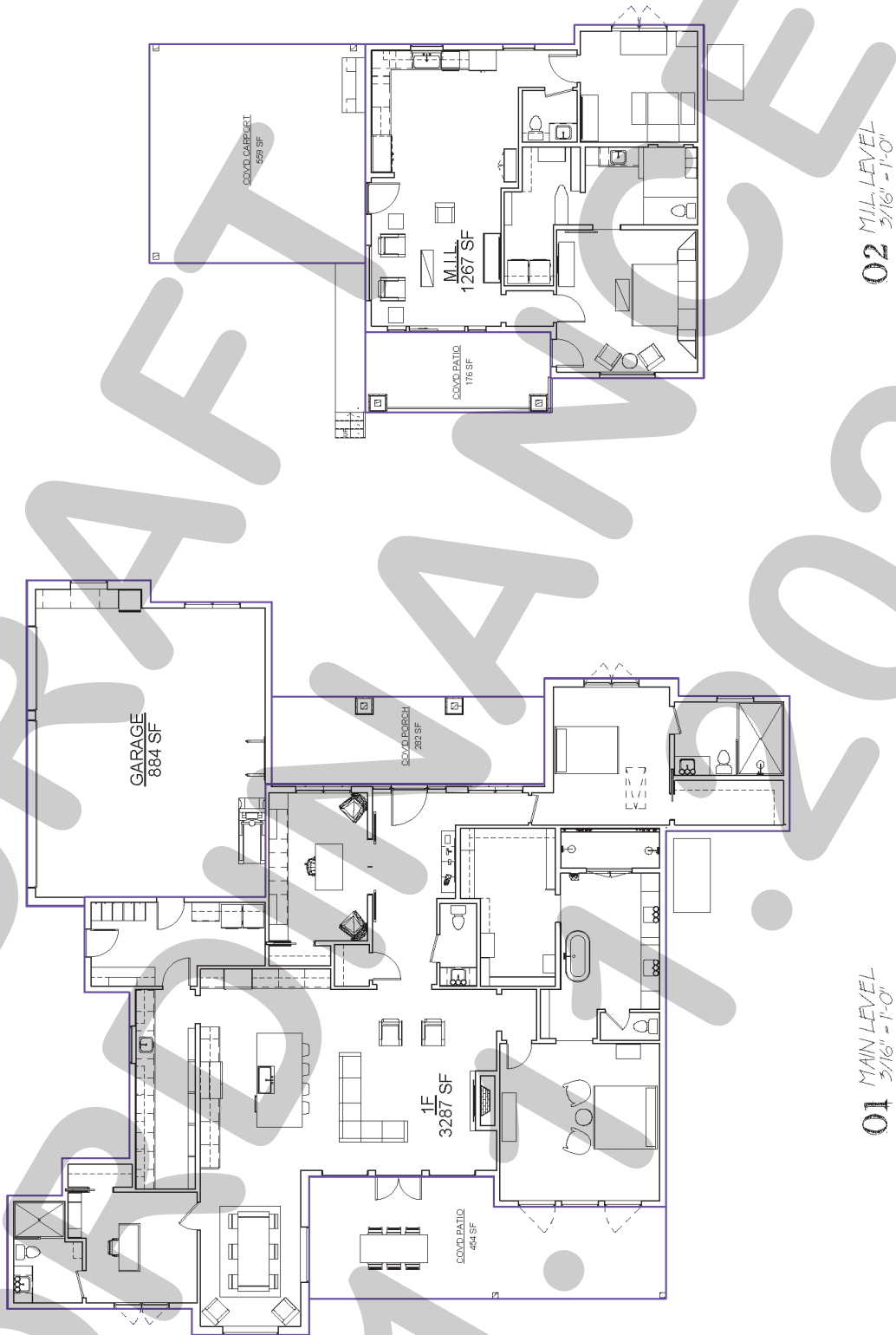


**02 EAST VIEW - MAIN HOUSE REAR**  
*1/4" = 1'-0"*





**Exhibit 'E':**  
**Floor Plans**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** November 11, 2025

**APPLICANT:** James Martin; *Gardner Land Holdings LLC*

**CASE NUMBER:** Z2025-072; *Zoning Change from an Agricultural (AG) District to a Planned Development District*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

### BACKGROUND

The portion of the subject property that is adjacent to S. Goliad Street [SH-205] was annexed by the City Council on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District. According to the historic zoning maps, at some point between the time of annexation and December 7, 1993 the north corner of the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. The remainder of the subject property was annexed by the City Council on August 30, 1999 by *Ordinance No. 99-33 [Case No. A1999-001]*. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District. The subject property has remained vacant since annexation.

### PURPOSE

On October 17, 2025, the applicant -- *James Martin of Gardner Land Holdings LLC* -- submitted a development application requesting to change the zoning of the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited General Retail (GR) District and limited Commercial (C) District land uses.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is intersection of S. Goliad Street [SH-205] and Rise Drive, which are identified as a P6D (*i.e. principal, six [6] lane, divided roadway*) and a *Private Roadway* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.4629-acre parcel of land (*i.e. Lot 19, Block Z, Hickory Ridge Phase 4 Addition*) developed with Fire Station #4. Following this is Phase 4 of the Hickory Ridge Subdivision, which was established in 2003, consists of 245 residential lots, and is zoned Planned Developed District 10 (PD-10) for single-family residential land uses.

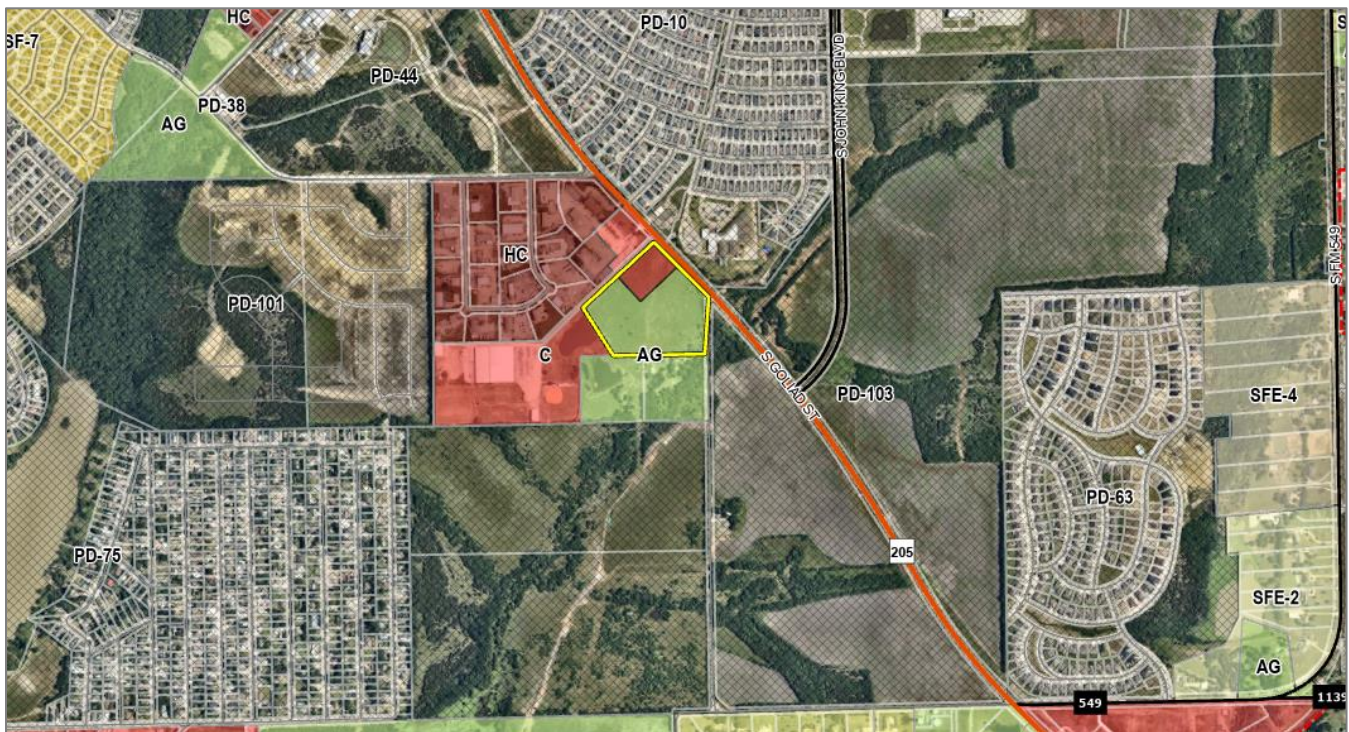
South: Directly south of the subject property are two (2) tracts of land (*i.e. Tracts 1 & 2-27 of the J. R. Johnson Survey, Abstract No. 128*) zoned Agricultural (AG) District. Both of these properties have existing agricultural buildings situated on them. Beyond this are two (2) vacant tracts of land (*i.e. Tracts 3 & 4 of the J. R. Johnson Survey,*

Abstract No. 128) zoned Planned Development District 103 (PD-103) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the intersection of S. Goliad Street [SH-205] and Lofland Circle, which are identified as a P6D (i.e. principal, six [6] lane, divided roadway) and a M4U (i.e. major, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 12.556-acre parcel of land (i.e. Lot 18R, Block Z, Hickory Ridge Phase 4 Addition) developed with Ouida Springer Elementary, zoned Planned Development District 10 (PD-10). Following this is vacant tract of land (i.e. Tract 3 of the A. Johnson Survey, Abstract No. 123), zoned Planned Development District 103 (PD-103) for General Retail (GR) District land uses. East of this is S. John King Boulevard, which is identified as an P6D (i.e. principal, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 23.27-acre tract of land (i.e. Tract 2-28 of the J. R. Johnson Survey, Abstract No. 128) developed with an indoor sports complex (i.e. the RISE), zoned Commercial (C) District. Beyond this are several tracts of land that front National Drive, and that are developed with heavy commercial land uses -- many of which are legally non-conforming -- zoned Heavy Commercial (HC) District.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



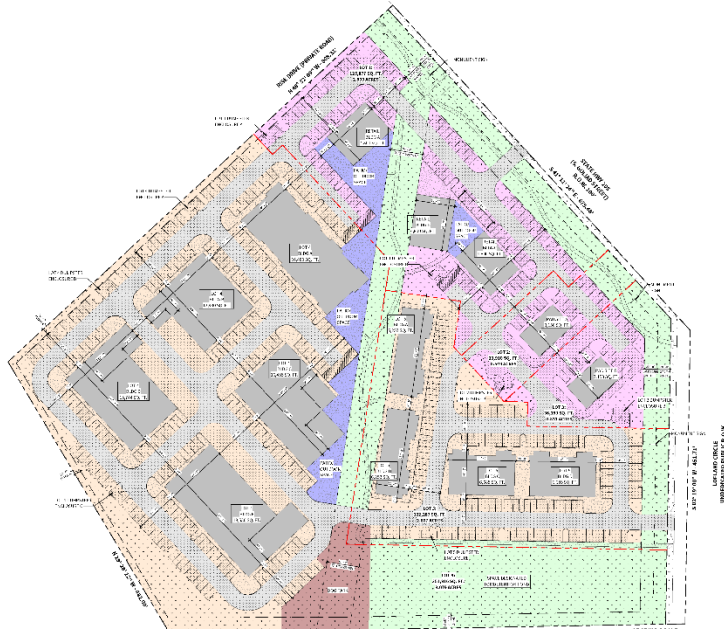
### CHARACTERISTICS OF THE REQUEST

The applicant has submitted a *Concept Plan* showing that the subject property will be subdivided into two (2) subdistricts (i.e. Subdistricts 'A' & 'B') [see Figure 1]. Subdistrict 'A' will be 4.269-acres, and consist of multiple pad sites for primarily *Retail* and *Restaurant* land uses. Subdistrict 'B' will consist of 10.886-acres, and consist of multiple pad sites for limited commercial land uses. This equates to a total of 15.601-acres within the proposed Planned Development District. Based on the development standards submitted by the applicant, Subdistrict 'A' will be subject to limited General Retail (GR) District land uses, and Subdistrict 'B' will be subject to limited Commercial (C) District land uses; however, the applicant has requested specific uses be included as *by-right* land uses in each subdistrict. In addition, staff has incorporated language that would require the proposed developments to meet the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The following is a breakdown of the specific standards for each of the proposed subdistricts:



**Subdistrict 'A'.**

As previously stated, *Subdistrict 'A'* will be 4.269-acres, and consist of multiple pad sites for primarily *Retail* and *Restaurant* land uses. Based on the provided *Concept Plan*, *Subdistrict 'A'* will incorporate five (5) separate buildings, three (3) will target *Retail* users with the remaining buildings being expected to be *Restaurants with Drive-Through*. The proposed subdistrict will be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District and the *General Overlay District Standards* as specified by the Unified Development Code (UDC). In addition, staff has limited the land uses permitted within *Subdistrict 'A'* in the Planned Development District ordinance to prohibit all the land uses allowed in the General Retail (GR) District that are inconsistent with the intent of the proposed *Concept Plan* and the established adjacent land uses. With this being said, the applicant has requested that the *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* and the *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* land uses be permitted by-right within the subdistrict, in lieu of requiring a Specific Use Permit (SUP). In the prepared *Draft Ordinance* staff only permitted the *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* by-right. Given that *Restaurants with less than 2,000 SF with Drive-Through or Drive-In* generally produce greater traffic volumes, and may warrant special consideration from the City Council and the Planning and Zoning Commission. As previously stated, *Subdistrict 'A'* shall be required to meet all of the density and dimensional requirements stipulated for a property in a General Retail (GR) District as outlined by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 1* below.



**FIGURE 1: PROPOSED CONCEPT PLAN WITH THE SUBDISTRICTS DELINEATED.**

*Subdistrict 'A'* shall be required to meet all of the density and dimensional requirements stipulated for a property in a General Retail (GR) District as outlined by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 1* below.

**TABLE 1. SUBDISTRICT 'A' DENSITY AND DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	25'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	20'
MAXIMUM BUILDING HEIGHT (3)	36'
MAXIMUM LOT COVERAGE (4)	40%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**Subdistrict 'B'.**

*Subdistrict 'B'* will be 10.886-acres, and consist of multiple pad sites for primarily commercial land uses. Based on the provided *Concept Plan*, *Subdistrict 'B'* will incorporate nine (9) separate buildings. Bisecting the subject property is an ATMOS gas easement, and the applicant has designed *Subdistrict 'B'* to separate the land uses for each side of the easement. On the east side of this easement the applicant is looking to attract *Professional* and *Medical Offices*, and on west of the easement the applicant is looking to establish higher intensity commercial uses. The proposed subdistrict will be subject to the density and dimensional standards stipulated for properties in a Commercial (C) District and the *General Overlay District Standards* as

specified by the Unified Development Code (UDC). In addition, staff has limited the land uses permitted within *Subdistrict 'B'* in the Planned Development District ordinance to prohibit all the land uses allowed in the Commercial (C) District that are inconsistent with the intent of the proposed *Concept Plan* and the established adjacent land uses. With that being said, the applicant requested that the following uses be permitted by-right in *Subdistrict 'B'*: *Wholesale Showroom Facility, Outside Storage and/or Outside Display, Light Manufacturing, Machine Shop, and Light Assembly and Fabrication*. In review of the requested land uses, a *Whole Sale Showroom Facility* and *Outside Storage and/or Outside Display* require a Specific Use Permit (SUP) in a Commercial (C) District, and the *Light Manufacturing, Machine Shop, and Light Assembly and Fabrication* land uses are not permitted land uses within a Commercial (C) District. Staff should note that the applicant has agreed to limit the *Outside Storage and/or Outside Display* land use to only the storage of motor vehicles overnight on the subject property. Regardless of this, the incorporation of these additional land uses is a discretion decision for the City Council, pending a recommendation from the Planning and Zoning Commission. As previously stated, *Subdistrict 'B'* shall be required to meet all of the density and dimensional requirements stipulated for a property in a Commercial (C) District as outlined by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 2* below.

**TABLE 2: SUBDISTRICT 'B' DENSITY AND DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**INFRASTRUCTURE**

Based on the proposed request, when the property is developed the following infrastructure is required to be constructed to provide adequate public services for the subject property:

- (1) Water. The applicant will be required to construct all water lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Water Plan.
- (2) Wastewater. The applicant will be required to construct all wastewater lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Wastewater Plan.
- (3) Roadways. Additional right-of-way for S. Goliad Street [SH-205] shall be required to be dedicated equal to 60-feet from the centerline of the existing right-of-way. Right-of-way for Lofland Circle shall be required to be dedicated equal to 30-feet from the centerline of the existing right-of-way. In addition, 24-feet of Lofland Circle must be constructed in conformance with the Engineering Standards of Design and Construction. A Traffic Impact Analysis (TIA) shall be required for S. Goliad Street [SH-205] and Lofland Circle.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual* and the required drainage study.

## **CONFORMANCE TO THE CITY'S CODES**

Included in the applicant's original submittal, conceptual building elevations were provided in order to demonstrate the desired design scheme; however, these elevations did not meet the requirements of the *General Overlay District* that the proposed Planned Development District will be subject to if approved. In light of this the applicant has withdrawn the conceptual building elevations from their request and have agreed to meet the requirements of the *General Overlay District*. In addition to meeting the *General Overlay District Standards* the applicant has agreed to have all the buildings within the Planned Development District incorporate complementary architectural styles, materials, and colors.

According to Subsection 05.02(B), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), any non-residential land use "...that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers..."; however, the Planning and Zoning Commission may approve an alternative screening methods that incorporates three (3) tiered screening. In this case, the subject property has residential adjacency along the southern property line. Given this, the applicant has agreed to provide the 20-foot landscape buffer with three (3) tiered landscaping.

As detailed in the *Characteristics of the Request* portion of this case memo, the applicant is requesting deviations in land use in both *Subdistrict 'A'* and *Subdistrict 'B'*. Specifically, *Subdistrict 'A'* will have a base zoning of General Retail (GR) District, where the applicant has requested the *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* and the *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* land uses be permitted by-right within the subdistrict, in lieu of requiring a Specific Use Permit (SUP). In the prepared *Draft Ordinance* staff only permitted the *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* by-right. Given that *Restaurants with less than 2,000 SF with Drive-Through or Drive-In* generally produce greater traffic volumes, and may warrant special consideration from the City Council and the Planning and Zoning Commission. In *Subdistrict 'B'* the base zoning is Commercial (C) District and the applicant is requesting to allow five (5) land uses by-right. As previously stated, two (2) of these land uses currently require a Specific Use Permit (SUP) and three (3) of these land uses are not permitted within a Commercial (C) District.

According to the provided *Concept Plan* the applicant is proposing to include a *Dog Park*. Given this, staff has included the requirements outlined in Article X, *Dog Parks*, of Chapter 6, *Animals*, of the Municipal Code of Ordinances within the *Draft Ordinance*. Staff should note that the proposed *Dog Park* is currently delineated in a portion of the ATMOS gas easement. Given this, pending approval from ATMOS the general location of the *Dog Park* is subject to change; however, the *Draft Ordinance* requires the applicant to provide this amenity on the subject property. In addition, the location of the *Dog Park* has direct adjacency to residential properties. Staff should note that there will be at the minimum three (3) tiered landscape screening to buffer this amenity from the residential properties.

The proposed *Concept Plan* includes one (1) entrance off of S. Goliad Street [*SH-205*] and one (1) entrance off of Lofland Circle. According to the Engineering Standards of Design and Construction both driveways do not meet the minimum spacing requirements. Specifically, all driveways along a TXDOT roadway (*i.e. S. Goliad Street [SH-205]*) are required to be 425-feet apart. In this case, both driveways fall short of this requirement.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *Southwest Residential District* and is designated for *Commercial/Retail* land uses. The *Plan* defines the *Commercial/Retail*, as a "...land use category characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions." This section continues to state that *Commercial/Retail* "...should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision." In addition, the *Primary Land Uses* listed under this land use designation include: *Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers*; and, the *Secondary Land Uses* listed under this land use designation include: *Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses*. The *Plan* also states that the secondary land uses should be *integrated* into the larger development. In this case, the applicant is proposing [1] a multi-tenant commercial retail center along a major arterial at a key intersection, [2] pedestrian amenities and connections between the commercial land use and the adjacent residential, and [3] has included land uses that are generally in conformance with land uses permitted within the *Commercial/Retail* designation (*with a few exceptions*). Based on this -- *and the Concept*



Plan and the land uses outlined in the Planned Development District ordinance --, the project does appear to generally conform with the Future Land Use Plan and the Commercial/Retail land use designation.

Looking at the pertinent policies and goals for commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these objectives into the proposed Planned Development District ordinance; however, staff has identified the following non-conformity:

- (1) CH. 01; Section 02.03; Goal #1 | Policy #3 (Page 1-2). Strip commercial centers should be avoided to encourage development that will not result in a sprawling community.

Staff's Response: The original *Concept Plan* provide by the applicant indicated that the majority of the buildings within the Planned Development District would be constructed in strip retail or strip commercial center format. To address this, the applicant changed *Subdistrict 'A'* on the *Concept Plan* to incorporate individual lots with smaller buildings; however, the buildings within *Subdistrict 'B'* are all still designed arranged and designed in a strip retail or strip commercial center format and the overall appearance of the center has not changed dramatically from the original *Concept Plan*.

Conformance: Based on this, the applicant -- *while still not conforming to this policy* -- has brought the request closer into conformance with the OURHometown Vision 2040 Comprehensive Plan; however, this policy is still not being met by the applicant.

Taking into account the applicant's proposed Future Land Use designation and the density and dimensional standards, portions of the applicant's request do appear to conform to the Unified Development Code (UDC) and Comprehensive Plan; however, the additional land uses proposed by the applicant and the areas outline in this case memo as not conforming to the Unified Development Code (UDC) and Comprehensive Plan (*e.g. the proposed driveway spacing, the strip retail/commercial design, etc.*), and the fact that this request is a zoning change, make this request a discretionary decision for the City Council pending a recommendation from the Planning and zoning Commission.

## **NOTIFICATIONS**

On October 20, 2024, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. The Hickory Ridge and Hickory Ridge East Homeowner's Associations (HOAs) were notified and are the only Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in regard to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited General Retail (GR) District and limited Commercial (C) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3600 S Goliad St, Rockwall, TX 75032

SUBDIVISION A0128 J R JOHNSON

LOT

BLOCK

GENERAL LOCATION Across the street from Springer Elementary School

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agriculture & Commercial

CURRENT USE Vacant

PROPOSED ZONING Planned Development

PROPOSED USE Mixed Use

ACREAGE 15.601

LOTS [CURRENT]

1

LOTS [PROPOSED]

5-6

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Gardner Land Holdings LLC

APPLICANT Gardner Land Holdings LLC

CONTACT PERSON Bart Gardner

CONTACT PERSON James Martin

ADDRESS 15950 SH 205

ADDRESS 15950 SH 205

CITY, STATE & ZIP Terrell, Texas 75160

CITY, STATE & ZIP Terrell, Texas 75160

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

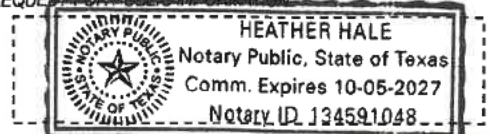
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART GARDNER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 134.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17<sup>th</sup> DAY OF OCTOBER, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF October, 2025.

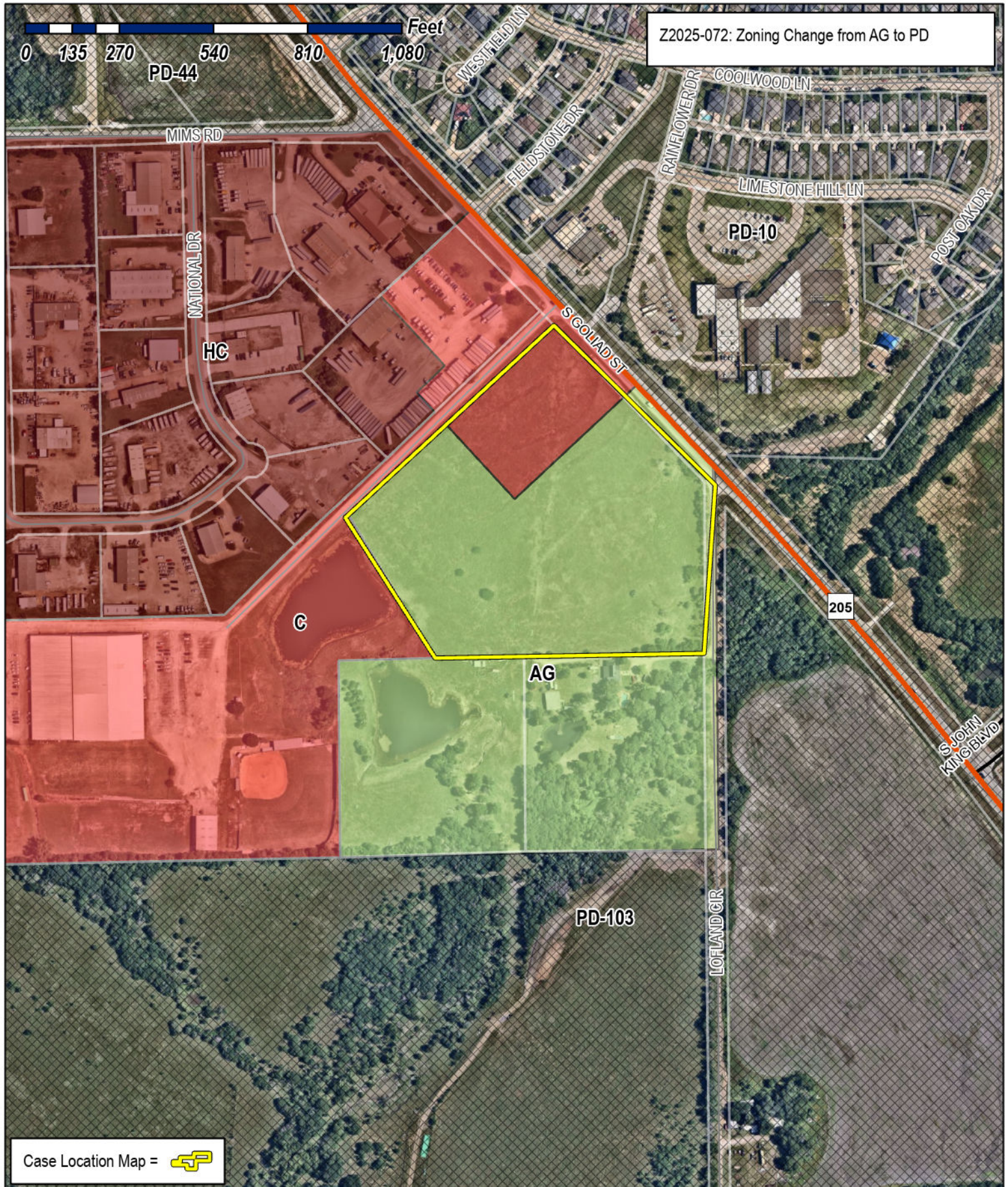
OWNER'S SIGNATURE X

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10-05-2027





Z2025-072: Zoning Change from AG to PD

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



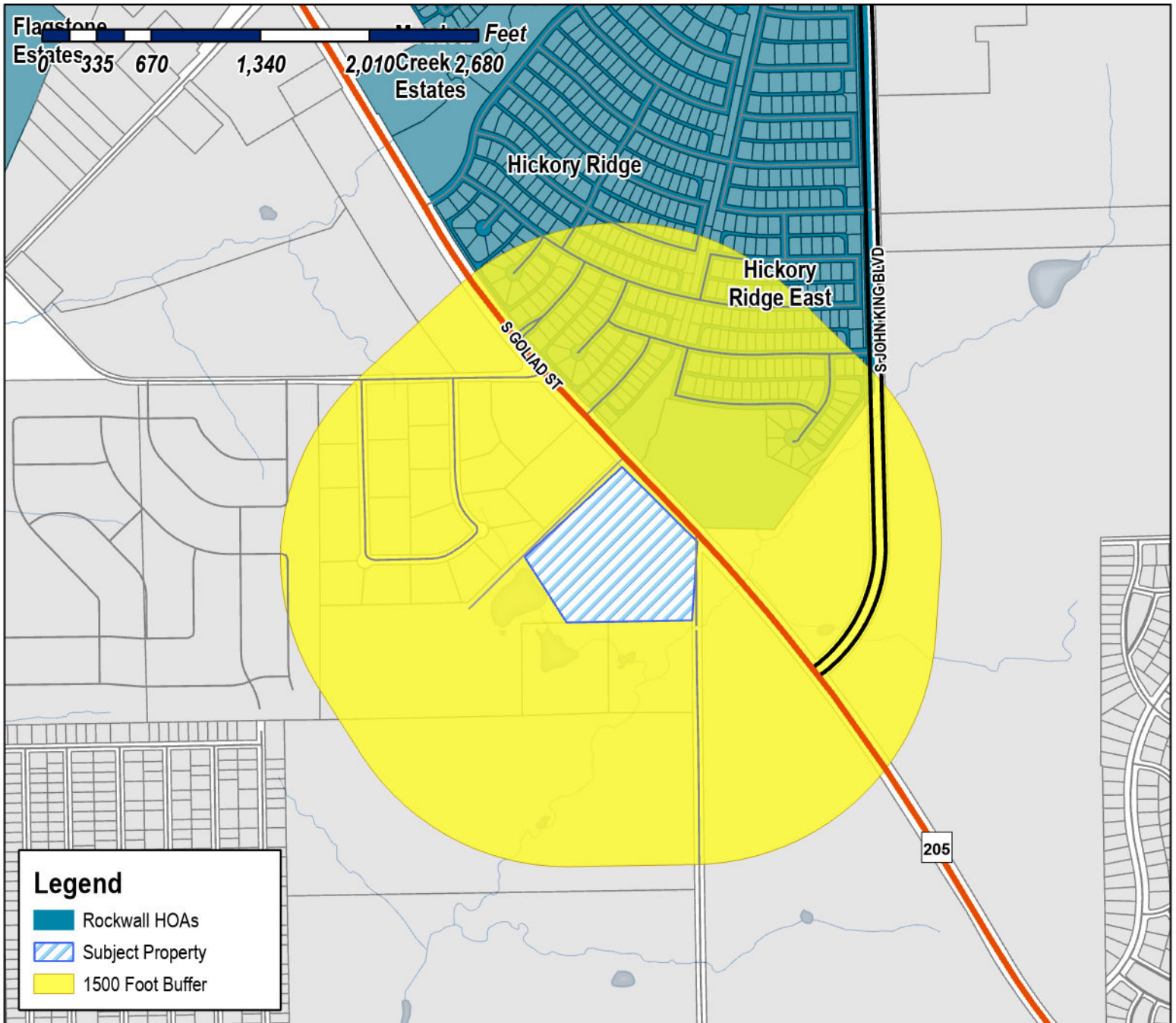




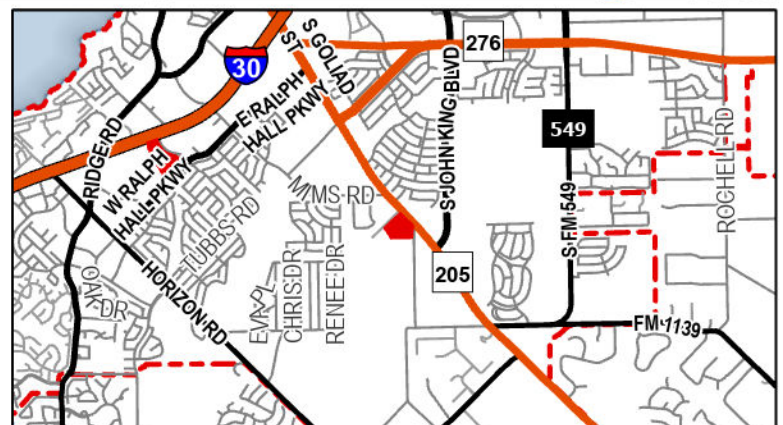
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**Case Number:** Z2025-072  
**Case Name:** Zoning Change from AG to PD  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 3600 S. Goliad Street



**Date Saved:** 10/18/2025

For Questions on this Case Call (972) 771-7745

**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)  
**Subject:** Neighborhood Notification Program [Z2025-072]  
**Date:** Wednesday, October 22, 2025 12:39:48 PM  
**Attachments:** [Public Notice \(10.20.2025\).pdf](#)  
[HOA Map \(10.18.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, October 24, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, November 11, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, November 17, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-072: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a [Zoning Change](#) from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568

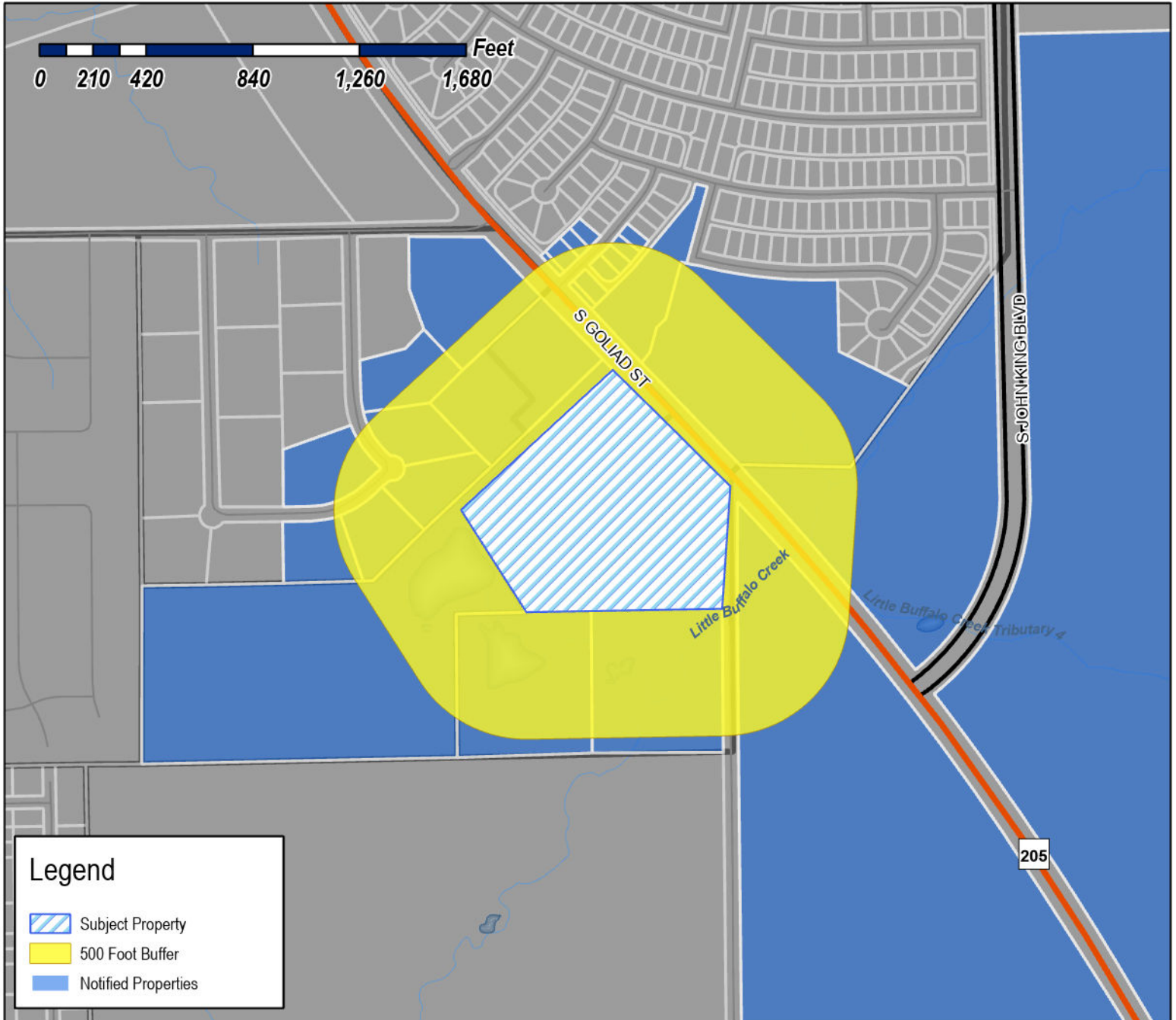




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**Case Number:** Z2025-072  
**Case Name:** Zoning Change from AG to PD  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 3600 S. Goliad Street

**Date Saved:** 10/18/2025  
 For Questions on this Case Call: (972) 771-7745





RESIDENT  
HWY205/FIELDSTONE  
ROCKWALL, TX 75032

JONES MICHAEL  
125 Deverson Dr  
Rockwall, TX 75087

ZIYADEH MUNEE R ABU  
1490 FIELDSTONE DR  
ROCKWALL, TX 75032

REYES JULIO CESAR & URANIA S  
1491 FIELDSTONE DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
1500 FIELDSTONE DR  
ROCKWALL, TX 75032

NICKERSON TELISA A  
1501 FIELDSTONE DR  
ROCKWALL, TX 75032

KROLL MONTY R  
1506 FIELDSTONE DR  
ROCKWALL, TX 75032

RESIDENT  
1507 FIELDSTONE DR  
ROCKWALL, TX 75032

CRUZET MARIE FLOR  
1512 FIELDSTONE DR  
ROCKWALL, TX 75032

AUTENCIO ROSELYN P & PHILIP  
1518 FIELDSTONE DR  
ROCKWALL, TX 75032

NXG SERVICES LLC  
1520 Bell Haven Ct  
Rockwall, TX 75032

MILLER FAMILY INVESTMENT LP  
17430 Campbell Rd Ste 230  
Dallas, TX 75252

HICKORY RIDGE EAST HOMEOWNERS ASSOC  
1800 Preston Park Blvd Ste 101  
Plano, TX 75093

HICKORY RIDGE EAST HOMEOWNERS ASSOC  
1800 Preston Park Blvd Ste 101  
Plano, TX 75093

RESIDENT  
227 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
2890 S GOLIAD  
ROCKWALL, TX 75032

RESIDENT  
2890 S GOLIAD  
ROCKWALL, TX 75032

RESIDENT  
291 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
2915 S GOLIAD  
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC  
2922 S GOLIAD ST  
ROCKWALL, TX 75032

RESIDENT  
3025 LIMESTONE HILL LN  
ROCKWALL, TX 75032

RESIDENT  
311 NATIONAL DR  
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC  
3400 EDGEFIELD CT  
GREENSBORO, NC 27408

RESIDENT  
355 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
368 NATIONAL DR  
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON  
3808 LOFLAND CIR  
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON  
3808 LOFLAND CIR  
ROCKWALL, TX 75032

RESIDENT  
381 NATIONAL DR  
ROCKWALL, TX 75032

HPLI LLC  
3820 AZURE LN  
ADDISON, TX 75001

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

GADDIS ROY F FAMILY TRUST  
ROY F GADDIS TRUSTEE  
6 BRIGHT MEADOWS ROAD  
HEATH, TX 75032

QUALICO DEVELOPMENTS US INC  
6950 Tpc Dr Ste 150 2 GREENSIDE AT CRAIG  
RANCH  
McKinney, TX 75070

GROUP 1 REALTY INC  
730 Town and Country Blvd Ste 500  
Houston, TX 77024

D & A REAL ESTATE PARTNERS LTD  
PO BOX 850  
ROCKWALL, TX 75087

TJT INVESTMENT TRUST  
JAMES DWAIN POWERS & PATRICIA ANNETTE  
POWERS - CO-TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-072: Zoning Change from AG and C to PD**

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-072: Zoning Change from AG and C to PD**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



## PLANNED DEVELOPMENT (PD) NARRATIVE

**Project Name:** The Exchange at Rockwall

**Location:** 3600 S. Goliad St., Rockwall, Texas 75032

**Applicant/Developer:** Gardner Construction / ConTex Development Partners

**Architect:** Level 5 Architecture

**Date:** October 17, 2025

### 1. Purpose and Intent

This Planned Development (PD) District establishes a unified regulatory framework for a mixed-use project incorporating **General Retail (GR)** and **Commercial (C)** uses across approximately **15.6 acres**.

The PD is designed to accommodate a complementary mix of neighborhood-oriented retail and commercial uses consistent with the vision for the **S. Goliad / SH-205 corridor**. The development provides flexibility for phased implementation while maintaining cohesive design and operational standards.

#### PD Objectives:

- Create a neighborhood-friendly environment with retail and service uses that complement adjacent development.
- Establish a smooth land-use transition from retail frontage to commercial uses to the rear of the site.
- Allow flexibility for individual lot development, marketing, or sale under unified design controls.
- Promote high-quality architecture, landscaping, and coordinated site circulation.

### 2. Purpose and Compatibility Statement

The proposed PD is consistent with the City of Rockwall Comprehensive Plan and supports the City's long-term vision for balanced commercial growth along the SH-205 corridor.

#### Key Compatibility Elements:

- **Land Use Integration:** Creates a logical transition between retail, neighborhood commercial, and employment uses.

- **Economic Diversity:** Expands the City's tax base through a mix of general retail, office, and flexible commercial space.
- **Enhanced Design Standards:** Incorporates architectural and landscape features that exceed base zoning requirements to enhance corridor aesthetics.
- **Coordinated Access:** Reduces vehicular conflicts through shared drives, internal circulation, and integrated parking.
- **Adaptable Framework:** Supports evolving market demand while maintaining a cohesive architectural identity.

Collectively, this PD establishes a high-quality and compatible development pattern that complements existing and planned uses within the corridor.

### 3. Development Summary

<u>Lot</u>	<u>Acreage / SF</u>	<u>Building SF</u>	<u>Primary Use</u>	<u>District</u>	<u>Ownership Strategy</u>
1	0.85 ac / 37,090 SF	TBD	Retail Pad Site	GR	Sell as pad site
2	2.30 ac / 100,082 SF	13,250 SF	Multi-Tenant Retail Center	GR	Build and lease
3	0.74 ac / 32,332 SF	TBD	Retail Pad Site	GR	Sell as pad site
4	1.61 ac / 70,230 SF	16,437 SF	Various Commercial Uses	C	Build and lease
5	2.88 ac / 125,236 SF	26,486 SF	Office / Professional	C	Build and lease or sell
6	6.77 ac / 294,694 SF	60,977 SF	Various Commercial Uses	C	Build and lease

Total 15.6 ac / 679,000 SF ~117,000 SF

#### 4. PD Summary and Permitted Use Matrix

The PD consists of two sub-districts to promote clarity and compatibility:

1. Sub-District 1: General Retail (Lots 1-3)
  - a. Uses shall conform to the City of Rockwall UDC with the following additional "Permitted by Right" uses to enhance neighborhood accessibility and support local demand:
    - i. Restaurant (less than 2,000 SF) with Drive-Through or Drive-In
    - ii. Restaurant (2,000 SF or more) with Drive-Through or Drive-In
  - b. These additions provide convenient dining options for nearby residents without increasing traffic along the I-30 corridor.
2. Sub-District 2: Commercial (Lots 4-6)
  - a. Uses shall conform to the City of Rockwall UDC with the following additional "Permitted by Right" uses to align with modern commercial demand for small and mid-sized business tenants:
    - i. Animal Clinic (Small Animals, no outdoor pens)
    - ii. Daycare (7 or more children)
    - iii. Indoor Commercial Amusement / Recreation
    - iv. Alcoholic Beverage Package Sales
    - v. General Personal Services
    - vi. Building & Landscape Material Sales (Limited Outdoor Storage)
    - vii. Wholesale Showroom Facility
    - viii. Light Assembly & Fabrication (*from Light Industrial District*)
    - ix. Light Manufacturing (*from Light Industrial District*)
    - x. Machine Shop (*from Light Industrial District*)
  - b. These uses support a balanced employment base and flexible commercial environment responsive to market needs.



## 5. Development Standards

Final PD standards, including setbacks, height, parking, access, landscaping, lighting, and signage, will be defined in coordination with City staff and documented within the PD ordinance. The intent is to maintain consistency with the City's design framework while providing flexibility for site-specific solutions.

## 6. PD Exhibits

1. Zoning and Site Plan Schematic
2. Legal Description
3. Elevations and Floor Plans
4. Landscape and Treescape Plans
5. Lighting Plan

## 7. Summary Statement

The Exchange at Rockwall establishes a high-quality, flexible development framework that enhances the S. Goliad / SH-205 corridor through compatible retail, office, and light commercial uses unified by cohesive design standards. The PD provides a predictable outcome for the City while offering developers the flexibility to respond to evolving tenant and market demand.

## PLANNED DEVELOPMENT (PD) NARRATIVE

**Project Name:** The Exchange at Rockwall

**Location:** 3600 S. Goliad St., Rockwall, Texas 75032

**Applicant/Developer:** ConTex Development Partners / Gardner Construction

**Architect:** Level 5 Architecture

**Date:** November 4, 2025

### 1. Introduction

Gardner Construction and ConTex Development Partners are locally based general contractors and developers with deep roots in Rockwall, Texas. We live and work in this community, and many of our employees, partners, and stakeholders call Rockwall home. This connection drives our approach: we design and build places that we — and our friends, families, and neighbors — will be proud to experience and engage with.

The Exchange at Rockwall is envisioned as a destination that:

1. Encourages **community engagement**
2. Supports a **diverse local economy**
3. Provides **convenient goods and services** to nearby neighborhoods

A Planned Development (PD) District will serve as the unified regulatory framework to accomplish this vision by integrating a complementary mix of General Retail (GR) and Commercial (C) uses across approximately 15.6 acres.

The PD establishes a coordinated development plan that responds to the S. Goliad Street (SH-205) corridor and creates a neighborhood-focused commercial environment. The framework supports phased development while ensuring cohesive design, compatible use relationships, and a high-quality public realm.

#### PD Objectives:

- Create a neighborhood-friendly environment with retail and service uses that complement adjacent development.
- Establish a smooth land-use transition from retail frontage to commercial uses to the rear of the site.
- Allow flexibility for individual lot development, marketing, or sale under unified design controls.
- Promote high-quality architecture, landscaping, and coordinated site circulation.

## 2. Purpose and Compatibility Statement

The proposed PD is consistent with the City of Rockwall Comprehensive Plan and supports the City's long-term vision for balanced commercial growth along the SH-205 corridor.

### Key Compatibility Elements:

- **Land Use Integration:** Creates a logical transition between retail, neighborhood commercial, and employment uses.
- **Economic Diversity:** Expands the City's tax base through a mix of general retail, office, and flexible commercial space.
- **Enhanced Design Standards:** Incorporates architectural and landscape features that exceed base zoning requirements to enhance corridor aesthetics.
- **Coordinated Access:** Reduces vehicular conflicts through shared drives, internal circulation, and integrated parking.
- **Adaptable Framework:** Supports evolving market demand while maintaining a cohesive architectural identity.

Collectively, this PD establishes a high-quality and compatible development pattern that complements existing and planned uses within the corridor.

## 3. Summary Statement

**The Exchange at Rockwall** establishes a high-quality, flexible development framework that enhances the **S. Goliad / SH-205 corridor** through compatible retail, office, and light commercial uses unified by cohesive design standards. The PD provides a predictable outcome for the City while offering developers the flexibility to respond to evolving tenant and market demand.



## LAND DESCRIPTION

BEING a 15.601 acre tract of land situated in the J.R. Johnson Survey, Abstract Number 128, the City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-00408220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for corner in the most northerly corner of said Miller tract, same an interior corner of Layza and Luna Real Estate, LLC, recorded in Instrument Number 20220000001115, Deed Records Rockwall County, Texas, also being a point in the most westerly Right-of-Way line of Goliad Street (variable width Right-of-Way), from which a 1/2 inch iron rod found bears, North 43 degrees 32 minutes 03 seconds West, 40.00 feet;

THENCE South 43 degrees 32 minutes 03 seconds East, along the most northeasterly line of said Miller tract, a distance of 679.48 feet to a "60D" Nail found for corner in the most northeasterly corner of said Miller tract, same being the most northerly corner of Qualico Developments (U.S.), Inc., recorded in Instrument Number 20250000002120, Deed Records Rockwall County, Texas;

THENCE South 00 degrees 01 minutes 38 seconds East, departing from said Goliad Street in a southerly direction, a distance of 451.70 feet to a "Mag" Nail found for corner in the most southeasterly corner of said Miller tract, same being a point in the most westerly line of said Qualico tract, also being the most northeasterly corner of Frank Forrest and Kelli Lafon Forest, recorded in Volume 2664, Page 159, Deed Records Rockwall County, Texas;

THENCE over, across, and upon said Miller tract the following three (3) courses and distances:

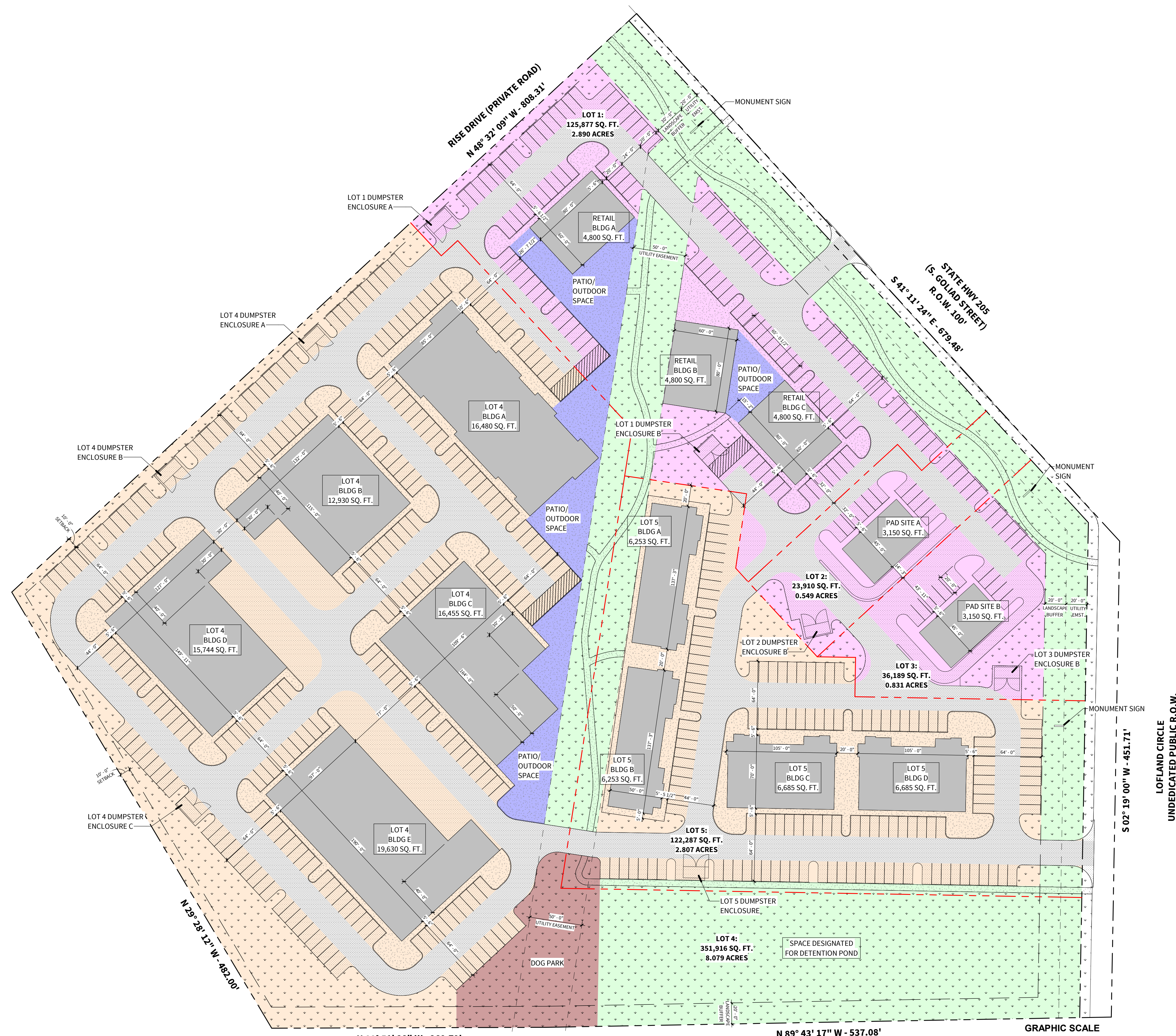
South 87 degrees 56 minutes 04 seconds West, a distance of 537.08 feet to a capped 1/2 inch iron rod stamped "RPLS 5034" found for corner;

South 88 degrees 47 minutes 43 seconds West, a distance of 260.79 feet to a 1/2 inch iron rod found for corner;

North 31 degrees 48 minutes 51 seconds West, a distance of 482.00 feet to a 1/2 inch iron rod found for corner in the most westerly corner of said Miller tract, also being an interior corner of said Layza and Luna tract;

THENCE North 46 degrees 11 minutes 30 seconds East, along the most northwesterly line of said Miller tract, a distance of 808.31 feet to the POINT OF BEGINNING and containing 15.601 acres (679,586 sq. ft.) of land, more or less.





### MATERIAL LEGEND

	CONCRETE DRIVE		GRASS
	CONCRETE DRIVE: FIRE LANE		CONCRETE SIDEWALK

### ZONING LEGEND

	GENERAL RETAIL ZONING (SUBDISTRICT A)		COMMERCIAL ZONING (SUBDISTRICT B)
	GREEN SPACE		PATIO/OUTDOOR SPACE
	DOG PARK		

PROPOSED LOT LINES ARE SHOWN IN RED

### SITE INFORMATION

LAND AREA:	15.601 ACRES (679,580 SQ. FT.)
CURRENT ZONING:	AGRICULTURE
EXISTING USE:	AGRICULTURE USES ON UNPLATTED LAND
PROPOSED ZONING:	PLANNED DEVELOPMENT (GENERAL RETAIL / COMMERCIAL)
PROPOSED USE:	MIXED USE DEVELOPMENT
BUILDING AREA:	RETAIL - 14,400 SQ. FT. OFFICE/SHOWROOM - 81,240 SQ. FT. OFFICE/MEDICAL - 25,875 SQ. FT.
BUILDING TO LOT COVERAGE:	121.515 / 679,580 = 17.88%
BUILDING HEIGHT:	VARIABLE (17' - 0" TO 23' - 0")
IMPERVIOUS AREA:	347,030 SQ. FT.
LANDSCAPED AREA REQUIRED:	20% OF TOTAL SITE
LANDSCAPED AREA PROVIDED:	211,035 / 679,580 = 31.05%

### LEGAL DESCRIPTION

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**PROJECT INFORMATION**  
 THE EXCHANGE AT ROCKWALL  
 3600 S. GOLIAD STREET  
 ROCKWALL, TX 75032  
 PROJECT CASE NUMBER: Z2025-072

**OWNER INFORMATION**  
 GARDNER LAND HOLDING LLC  
 15950 SH 205  
 TERRELL, TX 75160  
 214.675.4435

**DEVELOPER INFORMATION**  
 CONTEX DEVELOPMENT PARTNERS  
 15950 SH 205  
 TERRELL, TX 75160  
 214.675.4435

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2025.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

# LEVEL

# 5

**Level 5 Architecture**  
 Mansfield, TX | Springdale, AR  
 level5architecture.com

THESE DOCUMENTS ARE FOR REVIEW ONLY AND ARE NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES

ARCHITECT:  
 JUSTIN S. GILMORE  
 LEVEL 5 ARCHITECTURE

1/14/2025 8:57:37 AM

**TRUE**  
  
**1 CONCEPTUAL SITE PLAN**  
 SCALE: 1" = 50'-0"





RISE DRIVE (PRIVATE ROAD)  
 N 48° 32' 09" W - 808.31'

STATE HWY 205  
 (S. GOLIAD STREET)  
 R.O.W. 100'  
 S 42° 11' 24" E - 679.48'

RETAIL  
 BLDG A  
 4,800 SQ. FT.

LOT 1:  
 125,877 SQ. FT.  
 2.890 ACRES

RETAIL  
 BLDG B  
 4,800 SQ. FT.

RETAIL  
 BLDG C  
 4,800 SQ. FT.

LOT 2:  
 23,910 SQ. FT.  
 0.549 ACRES

PAD SITE A  
 3,150 SQ. FT.

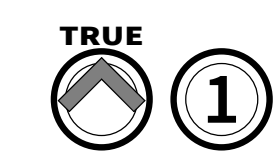
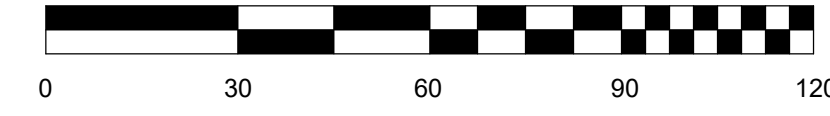
LOT 3:  
 36,189 SQ. FT.  
 0.831 ACRES

PAD SITE B  
 3,150 SQ. FT.

LOT 2 DUMPSTER  
 ENCLOSURE B

LOT 3 DUMPSTER  
 ENCLOSURE B

GRAPHIC SCALE



**CONCEPTUAL SITE PLAN (SUBDISTRICT A) - 4.269 ACRES**  
 SCALE: 1" = 30'-0"

**PROJECT INFORMATION**  
 THE EXCHANGE AT ROCKWALL  
 3600 S. GOLIAD STREET  
 ROCKWALL, TX 75032  
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 TERRELL, TX 75160  
 214.675.4435

**DEVELOPER INFORMATION**  
 CONTEX DEVELOPMENT PARTNERS  
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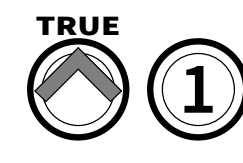
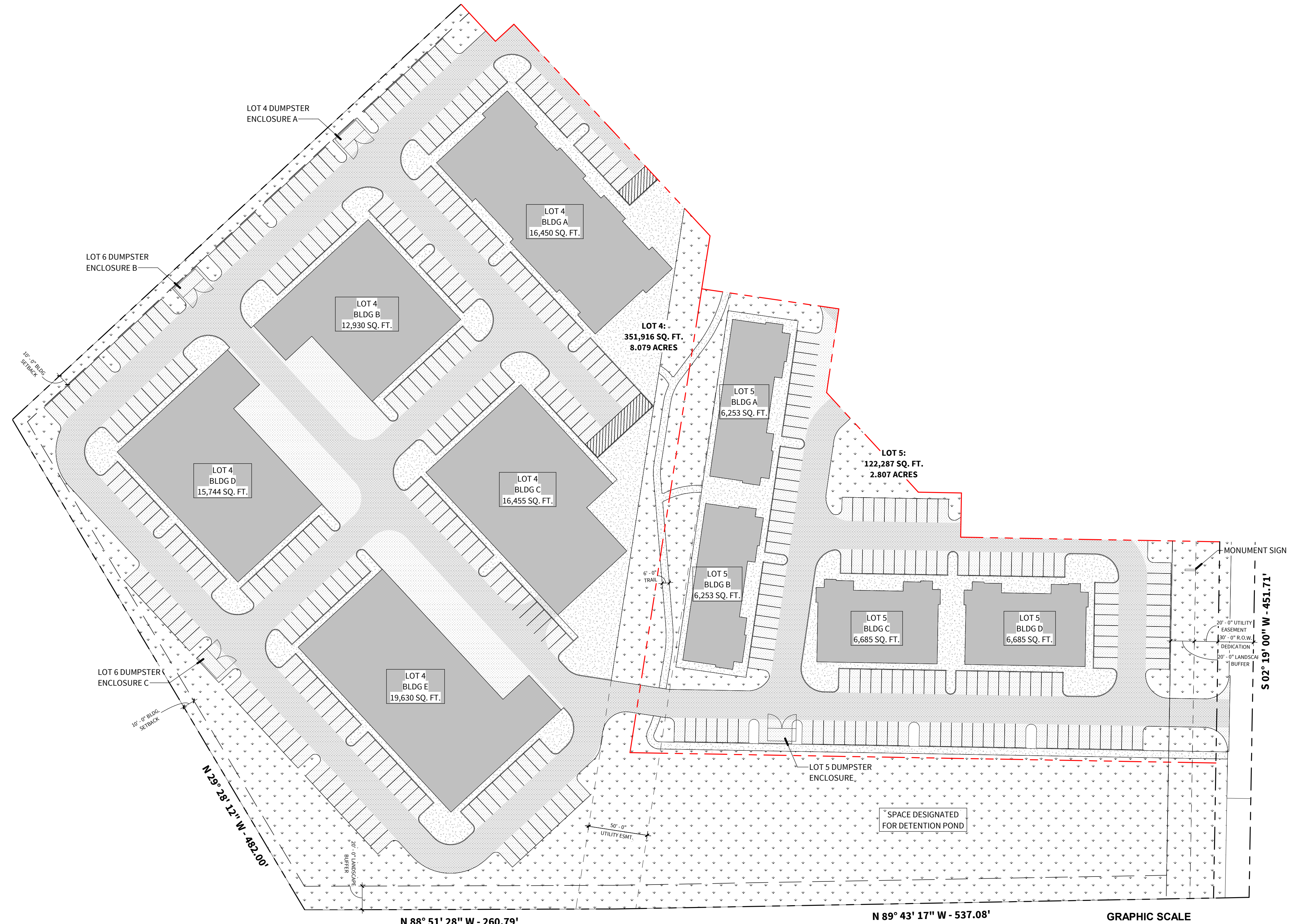
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2025.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

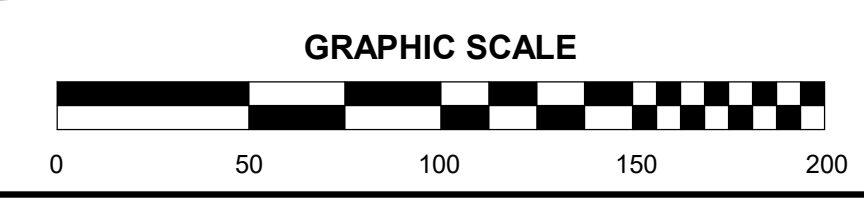
**LEVEL 5**  
 Level 5 Architecture  
 Mansfield, TX | Springdale, AR  
 level5architecture.com

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 ARCHITECT:  
 JUSTIN S. GILMORE  
 LEVEL 5 ARCHITECTURE





**CONCEPTUAL SITE PLAN (SUBDISTRICT B) - 10.886 ACRES**  
 SCALE: 1" = 50'-0"



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 3600 S. GOLIAD STREET  
 ROCKWALL, TX 75032  
 PROJECT CASE NUMBER: Z2025-072

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 TERRELL, TX 75160  
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 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



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 ARCHITECT:  
 JUSTIN S. GILMORE  
 LEVEL 5 ARCHITECTURE



# Executive Summary

Gardner Construction and ConTex Development Partners are locally based general contractors and developers with deep roots in Rockwall, Texas. We live and work in this community, and many of our employees, partners, and stakeholders call Rockwall home. This connection drives our approach: we design and build places that we – and our friends, families, and neighbors – will be proud to experience and engage with.



## Community engagement

- Interconnected trails
- Outdoor patios / open space
- Tailored spaces to drive engagement



## Diverse economic uses

- Medical offices
- Professional offices
- Service based businesses



## Convenient goods and services

- 2 quick service pad sites
- Retail along SH 205 for various retail uses



## Summary

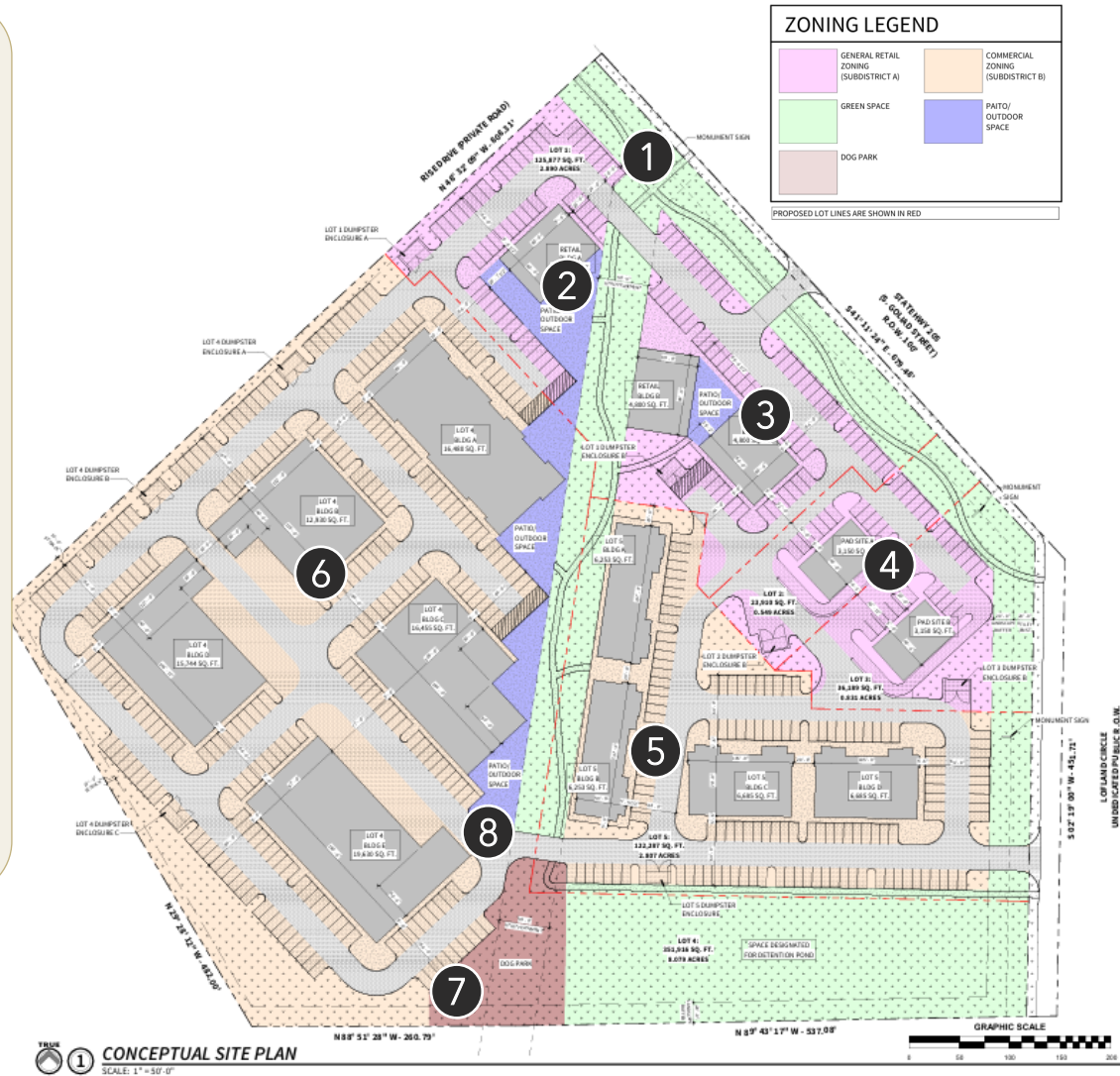
- Estimated 15K SF retail, 81K SF of commercial, 26K SF of medical office
- Planned Development with Two (2) Subdistricts
  - Subdistrict A = General Retail (4.3 acres)
  - Subdistrict B = Commercial (10.9 acres)
- Phased development approach (estimated 3 phases)
- Buy, develop and hold



# Concept Plan

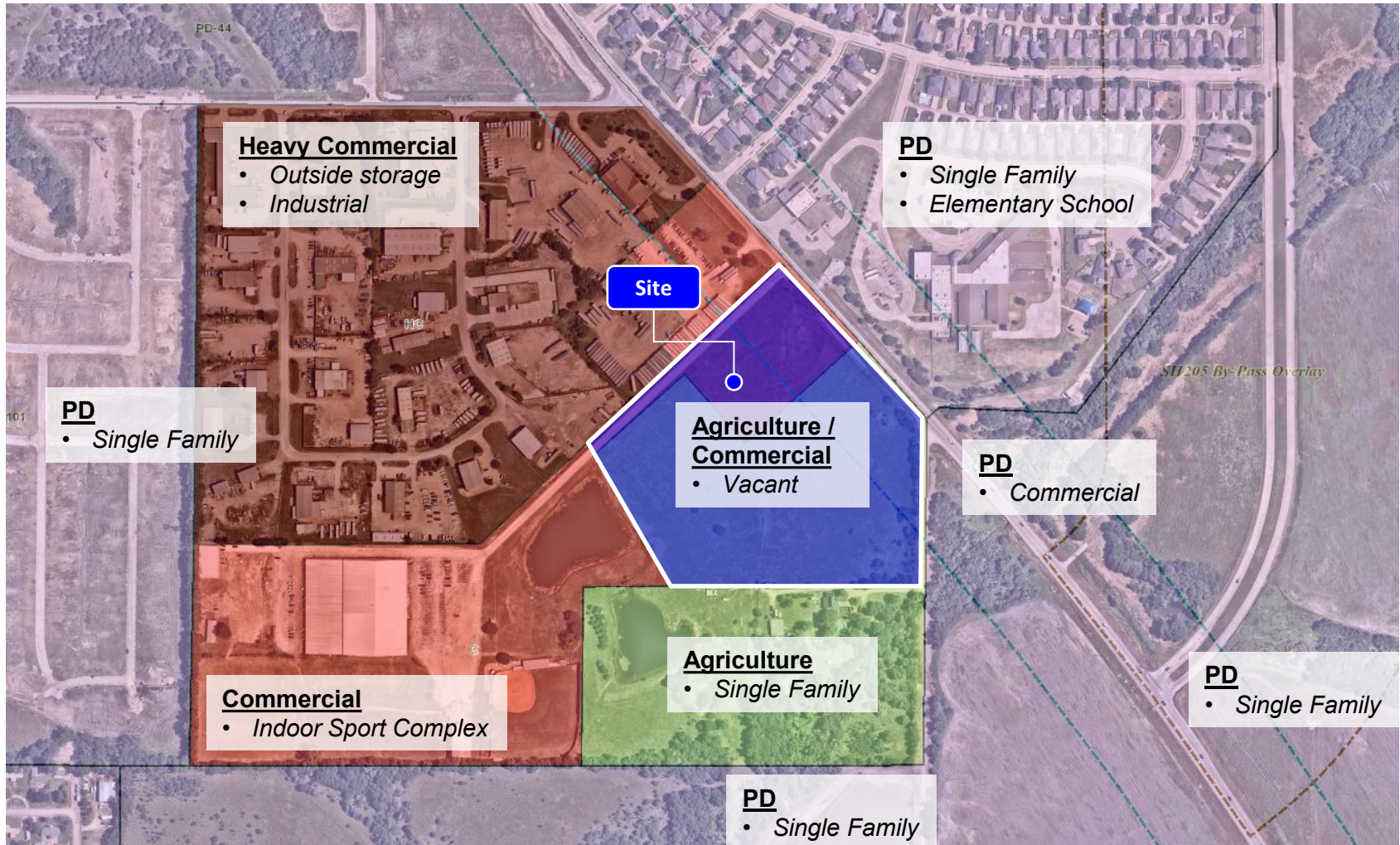
## Key Themes

- 1 Interconnected trail system
- 2 Outdoor patios
- 3 Decentralized retail
- 4 Quick serve pad sites
- 5 Professional offices
- 6 Versatile commercial
- 7 Dog parks
- 8 Interconnected drives



# Offset Zoning & Uses

- Implementing a PD with retail and commercial subdistricts is the ***ideal transitional zoning*** for a site that is flanked by single family, commercial and institutional uses





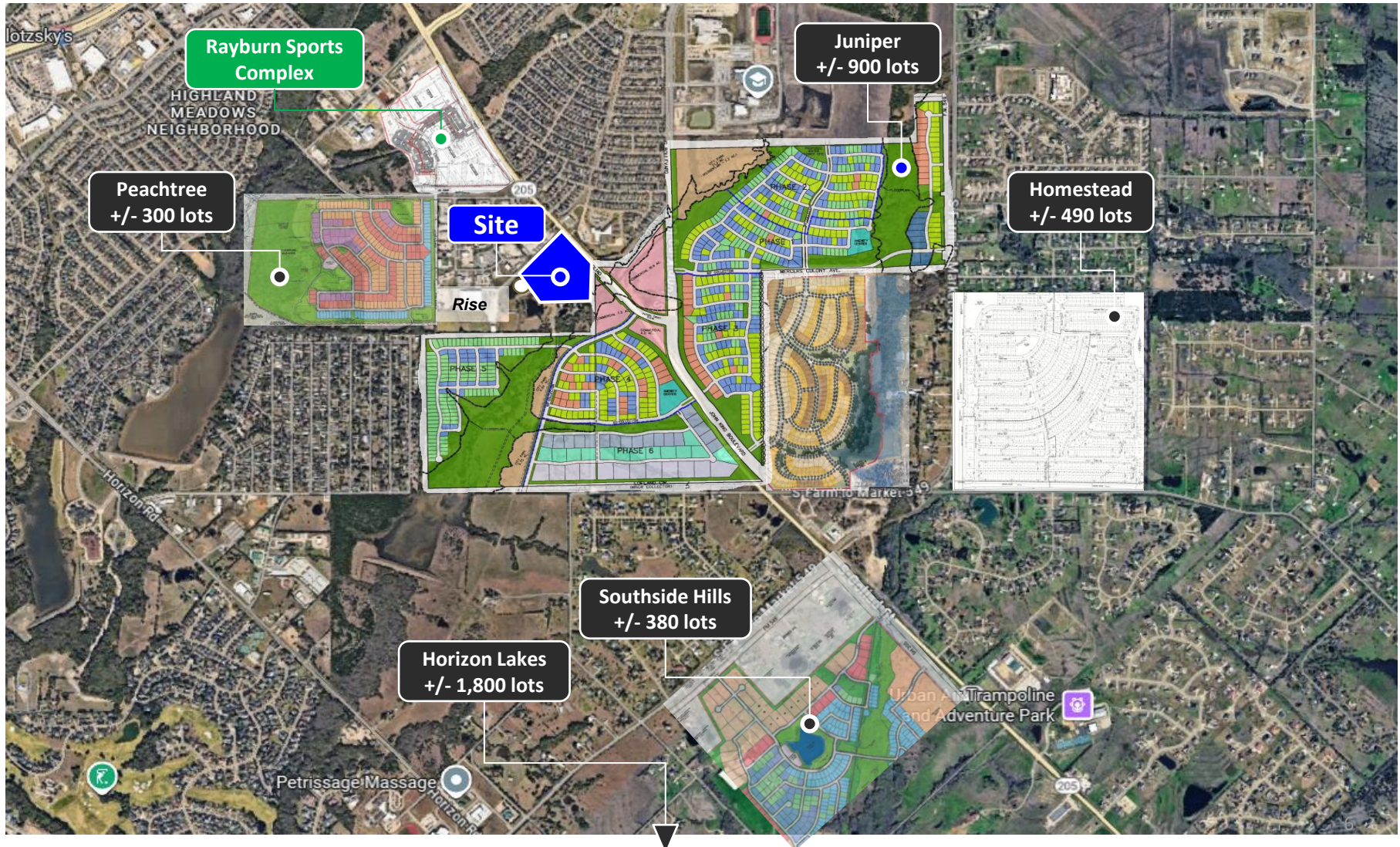






# Submarket Development Activity

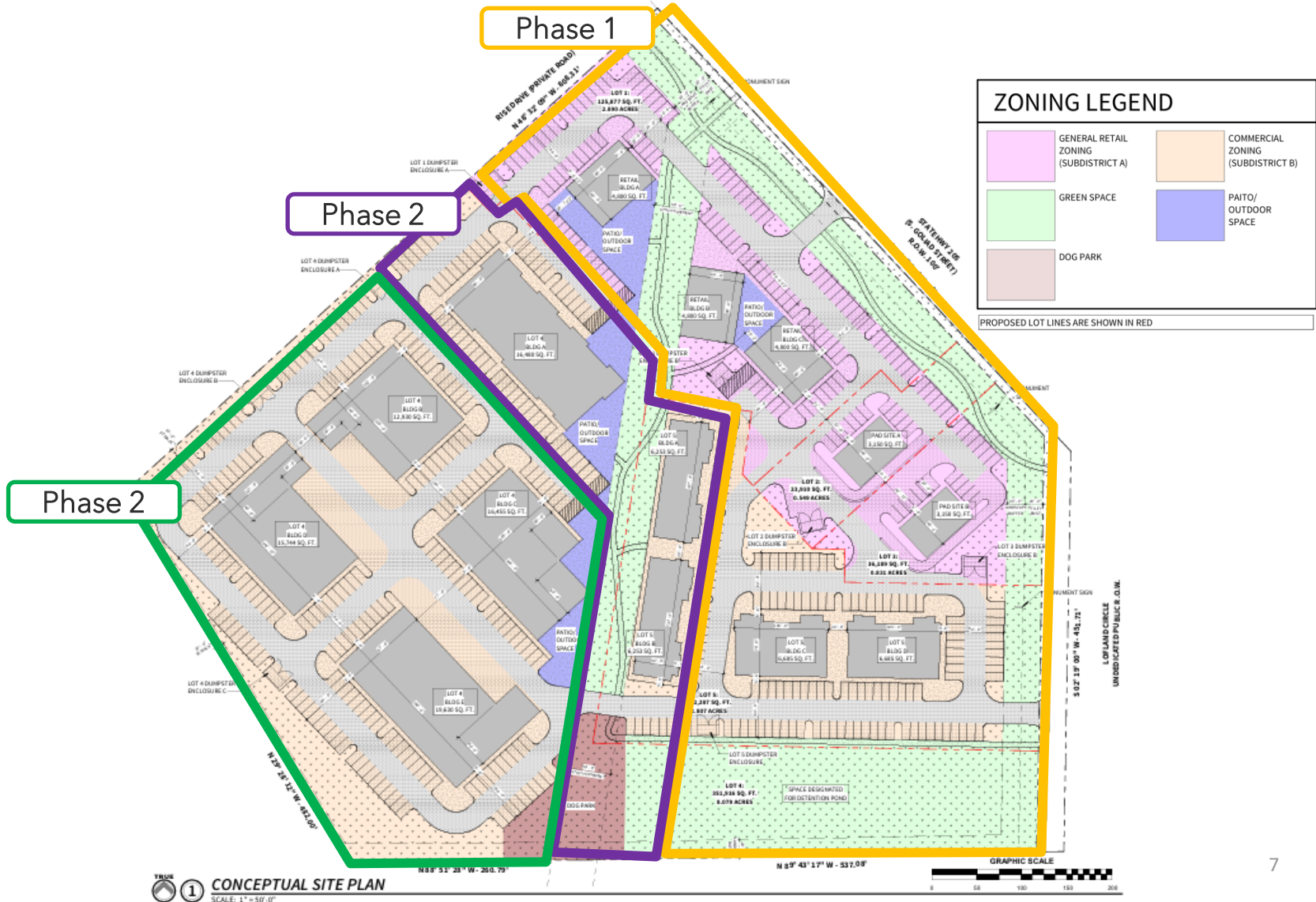
- **3,000-4,000 lots** planned or under construction in the immediate region
- **Multi-purpose sports complex** planned down the road





# Business Plan

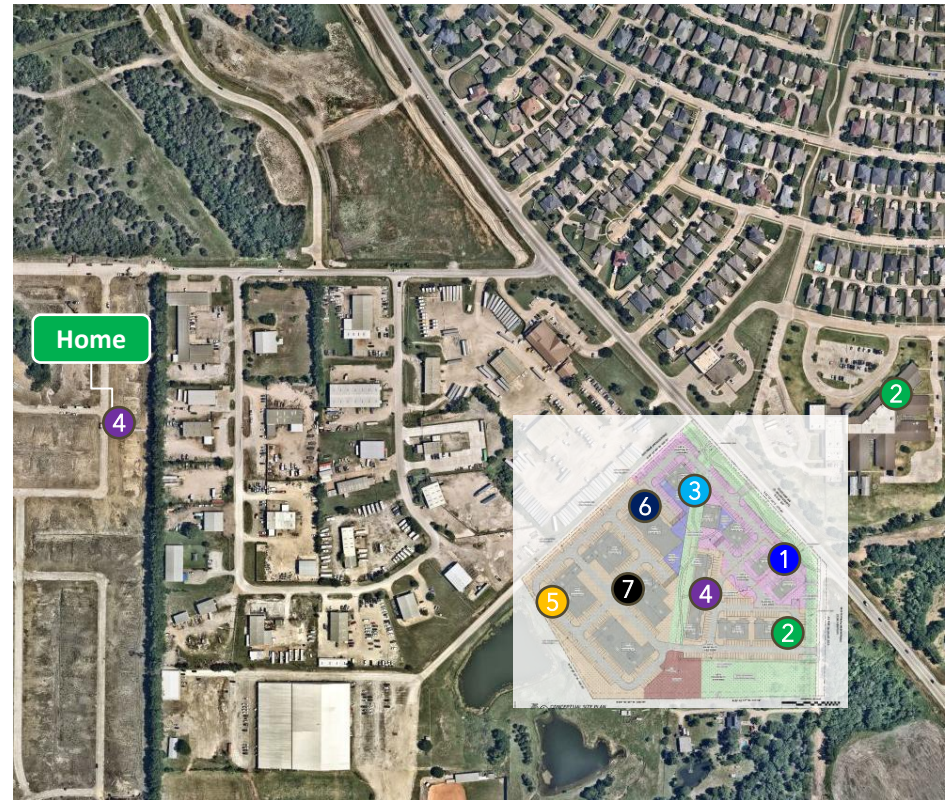
- Phased development promotes *natural market absorption*, reducing the risk of buildings sitting vacant by aligning supply with demand





## Projecting Future Interactions

- 1 After a youth soccer game, families can easily *run a quick errand or grab a bite to eat* nearby.
- 2 Parents can pick up their children from Springer Elementary and head straight to a convenient *dental appointment* across the street.
- 3 Residents can enjoy a *casual patio dining* experience while their kids *play safely along the greenbelt*.
- 4 Homebuyers can close on a new home at the *title company* or meet with their *attorney or accountant* without a long commute.
- 5 *HVAC, landscaping, and home-service contractors* can efficiently serve the rapidly growing neighborhood from within the community.
- 6 To kick off the weekend, residents can attend a *nearby spin, Pilates, or HIIT workout class* after work.
- 7 Parents can take their children to *gymnastics or youth sports training* just around the corner – no major detours required.



Disclaimer This offering memorandum is for general information only. No information, forward looking statements, or estimations presented herein represent any final determination on investment performance. While the information presented in this offering memorandum has been researched and is thought to be reasonable and accurate, any real estate investment is speculative in nature. Gardner and/or its agents cannot and do not guarantee any rate of return or investment timeline based on the information presented herein. By reading and reviewing the information contained in this offering memorandum, the user acknowledges and agrees that Gardner and/or its agents do not assume and hereby disclaim any liability to any party for any loss or damage caused by the use of the information contained herein, or errors or omissions in the information contained in this memorandum, to make any investment decision, whether such errors or omissions result from negligence, accident or any other cause. Investors are required to conduct their own investigations, analysis, due diligence, draw their own conclusions, and make their own decisions. Any areas concerning taxes or specific legal or technical questions should be referred to lawyers, accountants, consultants, brokers, or other professionals licensed, qualified or authorized to render such advice. In no event shall Gardner and/or its agents be liable to any party for any direct, indirect, special, incidental, or consequential damages of any kind whatsoever arising out of the use of this memorandum or any information contained herein. Gardner and/or its agents specifically disclaim any guarantees, including, but not limited to, stated or implied potential profits, rates of return, or investment timelines discussed or referred to herein.



[Gardner-construction.com](http://Gardner-construction.com)



**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	GENERAL RETAIL (GR) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
Private Sports Court with Standalone or Dedicated Lighting	<a href="#">(22)</a>	<a href="#">(18)</a>	P
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
Trade School	<a href="#">(24)</a>		S
Social Service Provider ( <i>Except Rescue Mission or Homeless Shelter</i> )	<a href="#">(26)</a>		S
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P

**LEGEND:**

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P	Land Use Permitted with Conditions
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X	Land Use Prohibited by Overlay District
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## PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	GENERAL RETAIL (GR) DISTRICT
Office or Medical Office Building less than 5,000 SF	<a href="#">(2)</a> & <a href="#">(3)</a>		P
Office or Medical Office Building 5,000 SF or Greater	<a href="#">(2)</a> & <a href="#">(3)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	<b>2.02(E)</b>	<b>2.03(E)</b>	
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	S
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	<b>2.02(F)</b>	<b>2.03(F)</b>	
Alcoholic Beverage Package Sales	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Antique/Collectible Store	<a href="#">(3)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(4)</a>		P
Banquet Facility/Event Hall	<a href="#">(5)</a>		P
Portable Beverage Service Facility	<a href="#">(6)</a>	<a href="#">(3)</a>	S
Brew Pub	<a href="#">(7)</a>		P
Business School	<a href="#">(8)</a>		P
Catering Service	<a href="#">(9)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(10)</a>	<a href="#">(4)</a>	P
Copy Center	<a href="#">(11)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(12)</a>	<a href="#">(5)</a>	S
Incidental Display	<a href="#">(13)</a>	<a href="#">(6)</a>	P
Food Trucks/Trailers	<a href="#">(14)</a>	<a href="#">(7)</a>	P
Garden Supply/Plant Nursery	<a href="#">(15)</a>		P
General Personal Service	<a href="#">(16)</a>	<a href="#">(8)</a>	P
General Retail Store	<a href="#">(17)</a>		P
Hair Salon and/or Manicurist	<a href="#">(18)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(19)</a>		P
Self Service Laundromat	<a href="#">(20)</a>		P
Massage Therapist	<a href="#">(21)</a>		P
Private Museum or Art Gallery	<a href="#">(22)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(23)</a>		S
Permanent Cosmetics	<a href="#">(25)</a>	<a href="#">(9)</a>	A



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# PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13,</a> <a href="#">Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04,</a> <a href="#">Permissible Uses</a> ]	GENERAL RETAIL (GR) DISTRICT
Pet Shop	<a href="#">(26)</a>		P
Temporary Real Estate Sales Office	<a href="#">(27)</a>		P
Rental Store without Outside Storage and/or Display	<a href="#">(28)</a>	<a href="#">(10)</a>	S
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(11)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(12)</a>	S
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(31)</a>	<a href="#">(13)</a>	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(32)</a>	<a href="#">(13)</a>	S
Secondhand Dealer	<a href="#">(33)</a>		P
Art, Photography, or Music Studio	<a href="#">(33)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(34)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Locksmith	<a href="#">(11)</a>		P
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Minor Auto Repair Garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	S
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	S
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	<b>2.02(I)</b>	<b>2.03(I)</b>	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna for an Amateur Radio	<a href="#">(3)</a>	<a href="#">(2)</a>	A
Antenna Dish	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Freestanding Commercial Antenna ( <i>i.e. Monopole or a Similar Structure</i> )	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Mounted or Attached Commercial Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	P
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses ( <i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i> )	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		S

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## PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13,</a> <a href="#">Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04,</a> <a href="#">Permissible Uses</a> ]	GENERAL RETAIL (GR) DISTRICT
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S



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# PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
Private Sports Court with Standalone or Dedicated Lighting	<a href="#">(22)</a>	<a href="#">(18)</a>	P
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
College, University, or Seminary	<a href="#">(5)</a>		S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
Trade School	<a href="#">(24)</a>		P
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P
Office or Medical Office Building less than 5,000 SF	<a href="#">(2)</a> & <a href="#">(3)</a>		P

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## PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Office or Medical Office Building 5,000 SF or Greater	<a href="#">(2) &amp; (3)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	<b>2.02(E)</b>	<b>2.03(E)</b>	
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	P
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>		S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		P
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	<b>2.02(F)</b>	<b>2.03(F)</b>	
Alcoholic Beverage Package Sales	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Alcoholic Beverage Store	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Antique/Collectible Store	<a href="#">(3)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(4)</a>		P
Banquet Facility/Event Hall	<a href="#">(5)</a>		P
Portable Beverage Service Facility	<a href="#">(6)</a>	<a href="#">(3)</a>	S
Brew Pub	<a href="#">(7)</a>		P
Business School	<a href="#">(8)</a>		P
Catering Service	<a href="#">(9)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(10)</a>	<a href="#">(4)</a>	P
Copy Center	<a href="#">(11)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(12)</a>	<a href="#">(5)</a>	S
Incidental Display	<a href="#">(13)</a>	<a href="#">(6)</a>	P
Food Trucks/Trailers	<a href="#">(14)</a>	<a href="#">(7)</a>	P
Garden Supply/Plant Nursery	<a href="#">(15)</a>		P
General Personal Service	<a href="#">(16)</a>	<a href="#">(8)</a>	P
General Retail Store	<a href="#">(17)</a>		P
Hair Salon and/or Manicurist	<a href="#">(18)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(19)</a>		P
Self Service Laundromat	<a href="#">(20)</a>		P
Massage Therapist	<a href="#">(21)</a>		P
Private Museum or Art Gallery	<a href="#">(22)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(23)</a>		P



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Pawn Shop	<a href="#">(24)</a>		S
Permanent Cosmetics	<a href="#">(25)</a>	<a href="#">(9)</a>	A
Pet Shop	<a href="#">(26)</a>		P
Temporary Real Estate Sales Office	<a href="#">(27)</a>		P
Rental Store without Outside Storage and/or Display	<a href="#">(28)</a>	<a href="#">(10)</a>	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(11)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(12)</a>	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(31)</a>	<a href="#">(13)</a>	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(32)</a>	<a href="#">(13)</a>	P
Secondhand Dealer	<a href="#">(33)</a>		P
Art, Photography, or Music Studio	<a href="#">(33)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(34)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)	
Bail Bond Service	<a href="#">(1)</a>		S
Building and Landscape Material with Limited Outside Storage	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">(3)</a>		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Furniture Upholstery/Refinishing and Resale	<a href="#">(8)</a>	<a href="#">(4)</a>	S
Heavy Machinery and Equipment Rental, Sales, and Service	<a href="#">(10)</a>	<a href="#">(5)</a>	S
Locksmith	<a href="#">(11)</a>		P
Research and Technology or Light Assembly	<a href="#">(15)</a>		S
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	2.02(H)	2.03(H)	
Minor Auto Repair Garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Automobile Rental	<a href="#">(3)</a>		S
New or Used Boat and Trailer Dealership	<a href="#">(4)</a>	<a href="#">(3)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	<a href="#">(6)</a>	<a href="#">(5)</a>	S
New Motor Vehicle Dealership-for Cars and Light Trucks	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Used Motor Vehicle Dealership for Cars and Light Trucks)	<a href="#">(7)</a>	<a href="#">(7)</a>	A
Commercial Parking	<a href="#">(8)</a>		P
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Recreational Vehicle (RV) Sales and Service	<a href="#">(10)</a>		S
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	

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LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>WHOLESALE, DISTRIBUTION AND STORAGE LAND USES</b>	<b>2.02(J)</b>	<b>2.03(J)</b>	
Mini-Warehouse	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Wholesale Showroom Facility	<a href="#">(8)</a>		S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna for an Amateur Radio	<a href="#">(3)</a>	<a href="#">(2)</a>	A
Antenna Dish	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Freestanding Commercial Antenna ( <i>i.e. Monopole or a Similar Structure</i> )	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Mounted or Attached Commercial Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	P
Commercial Drone Delivery Hub	<a href="#">(8)</a>	<a href="#">(6)</a>	S
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses ( <i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i> )	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		P
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S



● **COMMERCIAL/RETAIL (CR)**

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
- 2 Secondary Land Uses: Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

**EXISTING LAND USE EXAMPLES**

- 1 Shops at Stone Creek
- 2 Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [SH-205]
- 3 Walmart Neighborhood Market Shopping Center



● **COMMERCIAL/INDUSTRIAL (CI)**

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
- 2 Secondary Land Uses: Warehouse and Outside Storage
- 3 Zoning Districts: Heavy Commercial (HC) District and Heavy Industrial (HI) District

**EXISTING LAND USE EXAMPLES**

- 1 Areas Adjacent to National Drive
- 2 Areas Adjacent to Sids Road

● **BUSINESS CENTERS (BC)**

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (*e.g. restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
- 2 Secondary Land Uses: Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
- 3 Zoning Districts: Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

**EXISTING LAND USE EXAMPLES**

- 1 Trend Tower

# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

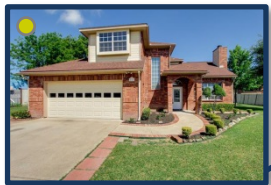
2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



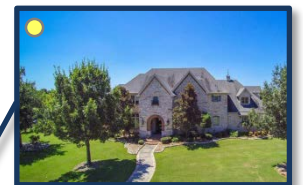
1 Current Suburban Residential



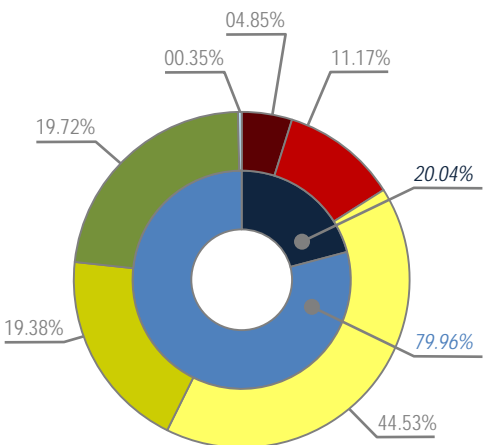
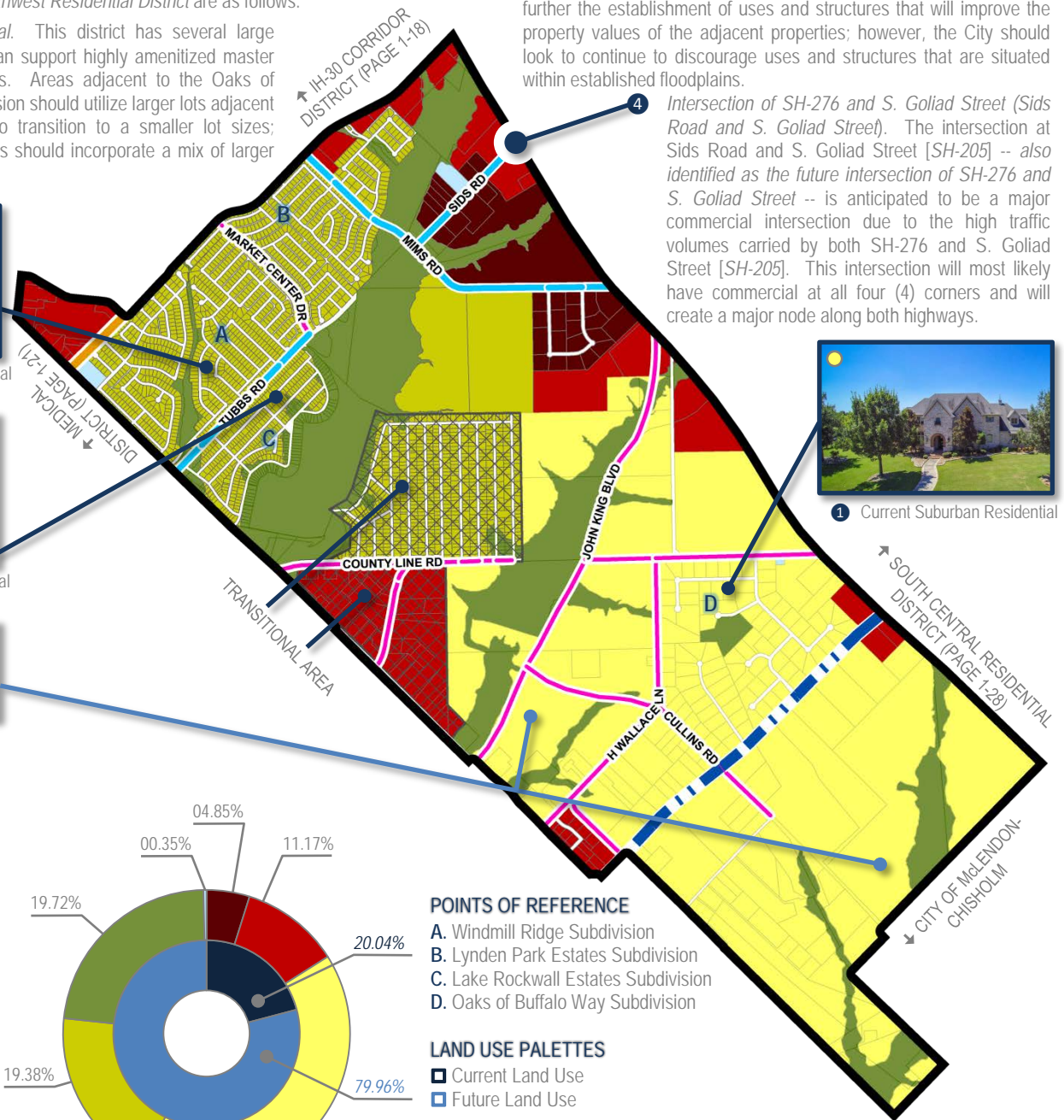
1 Current Suburban Residential



1 Future Suburban Residential



1 Current Suburban Residential



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR GENERAL RETAIL (GR) DISTRICT AND COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 15.601-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a zoning change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses, on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [*SH-205*] and Lofland Circle, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 6.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

2<sup>nd</sup> Reading: December 1, 2025



**Exhibit 'A':**  
*Legal Description*

**BEING** a 15.601-acre tract of land situated in the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-00408220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING** at a ½ inch iron rod found for corner in the most northerly corner of said Miller tract, same an interior corner of Layza and Luna Real Estate, LLC, recorded in Instrument Number 20220000001115, Deed Record Rockwall County, Texas, also being a point in the most westerly Right-of-Way line of Goliad Street (variable width Right-of-Way), from which a ½ inch rod found bears, North 43 degrees 32 minutes 03 seconds West, 40.00 feet;

**Thence** South 43 degrees 32 minutes 03 seconds East, along the most northeasterly line of said Miller tract, a distance of 679.48 feet to a "60D" Nail found for corner in the most northeasterly corner of said Miller tract, same being the most northerly corner of Qualico Developments (U.S.), Inc., recorded in Instrument Number 20250000002120, Deed Records Rockwall County, Texas;

**Thence** South 00 degrees 01 minutes 38 seconds East, departing from said Goliad Street in a southerly direction, a distance of 451.70 feet to a "Mag" Nail found for corner in the most southeasterly corner of said Miller tract, same being a point in the most westerly line of said Qualico tract, also being the most northeasterly corner of Frank Forest, recorded in Volume 2664, Page 159, Deed Records Rockwall County, Texas;

**Thence** over, across, and upon said Miller tract the following three (3) courses and distances:

South 87 degrees 56 minutes 04 seconds West, a distance of 537.08 feet to a capped ½ inch iron rod stamped "RPLS 5034" found for corner;

South 88 degrees 47 minutes 43 seconds West, a distance of 260.79 feet to a ½ inch iron rod found for corner;

North 31 degrees 48 minutes 51 seconds West, a distance of 482.00 feet to a ½ inch iron rod found for corner in the most westerly corner of said Miller tract, also being an interior corner of said Layza and Luna tract;

**Thence** North 46 degrees 11 minutes 30 seconds East, along the most northwesterly line of said Miller tract, a distance of 808.31 feet to the **POINT OF BEGINNING** and containing 15.601 acres (679,586 sq. ft.) of land, more or less.





**Exhibit 'C':**  
*Density and Development Standards*

**C.1 REVIEW PROCESS.**

The subject property shall be generally developed in accordance with the *Concept Plan* contained in *Exhibit 'B'* of this ordinance and in conformance with the procedures contained in Article 10, *Planned Development Regulations*, and Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, the Director of Planning and Zoning may require/the property owner may request a *PD Development Plan* where a development request departs from the intent of this *Concept Plan*. A *PD Development Plan* constitutes an amendment to the approved *Concept Plan* and Planned Development District ordinance, and shall follow the same review and approval process as the establishment of a Planned Development District.

**C.2 PLANNED DEVELOPMENT DISTRICT STANDARDS.**

The *Subject Property* shall be divided into two (2) *Subdistricts* as depicted on the *Concept Plan*, contained in *Exhibit 'B'* of this ordinance.

(A) General Standards.

The following general standards shall apply for all *Subdistricts* as depicted on the *Concept Plan* contained in *Exhibit 'B'* of this ordinance.

- (1) Development Standards. Unless otherwise stipulated by this Planned Development District, all buildings on the *Subject Property* shall generally conform to the building material and development standards stipulated by the *General Overlay District Standards* as outline in Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all buildings on the *Subject Property* shall incorporate complementary architectural styles, materials and colors. The consistency and compatibility of a buildings design shall be reviewed by the Architectural Review Board (ARB) at the time of *Site Plan*.
- (2) Landscape Buffers. All landscape buffers shall be exclusive of any existing or proposed easements located along public rights-of-way and shall be provided as follows:
  - (a) Landscape Buffer Adjacent to S. Goliad Street [SH-205]. A minimum of a 30-foot landscape buffer shall be provided along the frontage of S. Goliad Street [SH-205] (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot hike/bike trail shall be constructed within the 30-foot landscape buffer.
  - (b) Landscape Buffer Adjacent to Lofland Circle. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Lofland Circle (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage.

**Exhibit 'C':**  
*Density and Development Standards*

Berms and shrubbery shall have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot hike/bike trail shall be constructed within the 20-foot landscape buffer.

- (c) Landscape Buffer Adjacent to the Southern Property Line. A minimum of a 20-foot landscape buffer shall be provided along the southern property line, and shall incorporate a berm with three (3) tiered landscaping (i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs).
- (3) Dumpster Enclosure. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12-feet by 10-feet. A minimum of 6-inch bollards will be required at potential impact zones and the pad site shall be paved to city standards.
- (4) Dog Park. A dog park shall be provided within the Planned Development District that generally conforms to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance. All fencing shall be a minimum of six (6) feet in height and shall be wrought iron puppy panel fencing. A double self-closing gate system shall be installed to reduce the chance of dogs escaping from their owners when leaving or entering the off-leash area. Off-leash areas shall provide two (2) separate areas for large dogs and small dogs. Large dogs are 40 pounds or more and over the height of 12 inches at the shoulder. Small dogs are under 40 pounds and under 12 inches at the shoulder. Dog waste stations and a water provisioning system shall be provided. Signage shall be provided that displays the General Rules in accordance with the City of Rockwall Municipal Code of Ordinances, and provide the contact information for the responsible party.
- (5) Open Space. A pavilion shall be provided on Lot 5 as depicted in the *Concept Plan* contained in *Exhibit 'B'* of this ordinance, and being located within both *Subdistrict A* and *Subdistrict B*. In addition, benches, trash receptacles, and similar amenities shall be provided throughout the Planned Development District.
- (6) Decorative Plantings. Decorative planters, ornamental beds, and façade plantings shall be provided throughout the Planned Development District.
- (7) Utility Placement. All overhead utilities shall be placed underground.
- (8) Variances/Exceptions. Variances and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].



**Exhibit 'C':**  
*Density and Development Standards*

(B) SUBDISTRICT A.

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict A -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- RESTAURANT WITH 2,000 SF OR MORE WITH DRIVE-THROUGH OR DRIVE-IN

(b) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE

**Exhibit 'C':**  
*Density and Development Standards*

- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

- (1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.  
 (2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	36'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	40%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- <sup>1</sup>: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE

**Exhibit 'C':**  
*Density and Development Standards*

- PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
  - 3: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
  - 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**(C) SUBDISTRICT B.**

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict B -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- WHOLESALE SHOWROOM FACILITY
- LIGHT ASSEMBLY AND FABRICATION
- LIGHT MANUFACTURING
- MACHINE SHOP
- OUTSIDE STORAGE AND/OR OUTSIDE DISPLAY <sup>(1)</sup>

NOTES:

<sup>(1)</sup>: ALL OUTSIDE STORAGE IS LIMITED TO CARS AND LIGHT TRUCKS. ALL OUTSIDE STORAGE SHALL MEET THE SCREENING REQUIREMENTS DETAILED IN SUBSECTION (C)(3) OF EXHIBIT 'C' OF THIS ORDINANCE.

(b) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC



**Exhibit 'C':**  
*Density and Development Standards*

- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
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- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

**NOTES:**

- <sup>(1)</sup>: UNLESS ACCESSORY TO A SPA OR HAIR SALON.
- <sup>(2)</sup>: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B* -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in Table 2, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'

**Exhibit 'C':**  
*Density and Development Standards*

MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- <sup>1</sup>: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- <sup>2</sup>: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- <sup>3</sup>: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- <sup>4</sup>: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(3) Loading Docks & Outside Storage. All Loading Docks and Outside Storage areas shall be screened from adjacent properties and rights-of-way with three (3) tiered landscaping (i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs). All Outside Storage is limited to cars and light trucks.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 11, 2025  
**APPLICANT:** Tyler Adams; *Greenlight Studio, LLC*  
**CASE NUMBER:** Z2025-073; *Specific Use Permit (SUP) for a Heavy Auto Repair Garage*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a Specific Use Permit (SUP) for a *Major Auto Repair Garage* on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 historic zoning map, the subject property was rezoned from the Agricultural (AG) District to a Light Industrial (LI) District at some point between the time of annexation and December 7, 1993. The subject property has remained vacant since the time of annexation.

### PURPOSE

The applicant -- *Tyler Adams of Greenlight Studio, LLC* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Major Auto Repair Garage* to be established on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northeast corner of SH-276 and T. L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.827-acre tract of land (*i.e. Tract 4-8 of the N. M. Ballard Survey, Abstract No. 24*) developed with an equipment rental business. Beyond this is a vacant 1.588-acre tract of land (*i.e. Tract 4-03 of the N. M. Ballard Survey, Abstract No. 24*). Following this is a vacant 21.684-acre tract of land (*i.e. 4-09 of the N. M. Ballard Survey, Abstract No. 24*). All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is old SH-276, which is identified as a *Minor Collector*, on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.18-acre parcel of land (*i.e. Lot 1 of The Larson School Addition*) developed with a *Private School (i.e. Galaxy Ranch)*. Following this is a 3.16-acre parcel of land (*i.e. Lot 3 of The Larson School Addition*) developed with a multi-tenant retail building. Both of these properties are zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. South of this is SH-276, which is identified as a P6D (*i.e. principle, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.



East: Directly east of the subject property are two (2) vacant tracts of land (i.e. Tracts 1 & 5 of the N. M. Ballard Survey, Abstract No 24), zoned Commercial (C) District. Beyond this is a 0.50-acre tract of land (i.e. Tract 1 of the N. M. Ballard Survey, Abstract No. 24) developed with a single-family home that is zoned Single Family 7 (SF-7) District. Following this is a 6.739-acre parcel of land (i.e. Lot 2, Block A, Houser Addition) developed with a Trucking Company that is zoned Heavy Commercial (HC) District. East of this is a 32.6546-acre parcel of land (i.e. Lot 1, Block A, Mansions Family Addition) developed with a multi-family apartment complex that is zoned Planned Development District 10 (PD-10) for multi-family and single family attached land uses.

West: Directly west of the subject property is S. T. L. Townsend Drive, which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (i.e. Tracts 2-4 & 2-5 of the J. Cadle Survey, Abstract No. 65) zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses. Following this is the Townsend Village Subdivision, which was established in 2013, contains 80 residential lots, and is zoned Planned Development District 10 (PD-10) for single family attached and detached land uses.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application, concept plan, landscape plan, and building elevations to request approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage. The proposed 4,880 SF Major Auto Repair Garage that consists of eight (8) bay doors with an office and lobby area, and parking located behind the building. At this time the concept plan shows 14 parking spaces for the proposed use. The preliminary landscape plan indicates additional screening on the south and east property lines for the bay doors and the one (1) parking space for Outside Storage. The conceptual building elevations detail the general building form and materials that will be requested at the time of site plan, pending the approval of the Specific Use Permit (SUP).

## **CONFORMANCE WITH THE CITY'S CODES**

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Major Auto Repair Garage* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District. In addition, Subsection 02.03(H)(1), *Conditional Land Use Standards*, of Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) states that [1] "(g)arage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property" and [2] "(v)ehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). If permitted all stored items shall be screened from public right-of-way, sidewalks and open space, and any residentially zoned or used property..." In this case, the applicant meets item [1]; however, the applicant is proposing one (1) parking space for the *Outside Storage* of a vehicle. The applicant has indicated that this one (1) *Outside Storage* space is being requested given that the business allows for after-hours pick-up. In light of this, the applicant is requesting approval of this *Outside Storage* as part of this Specific Use Permit (SUP) request.

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) states that *Office* requires one (1) parking space per 300 SF of building area, and *Auto Repair* requires two (2) parking spaces per bay door. In this case, the proposed *Major Auto Repair Garage* has eight (8) bay doors, for a parking minimum of 16 spaces. The concept plan indicates that 14 parking spaces are being provided. This represents a parking deficit of two (2) parking spaces. That being said, the applicant did not provide the square footage of the *Office* space within the proposed building. Based on the provided floor plan, staff estimates that there is approximately 850 SF of *Office* space, which requires three (3) parking space. This brings the total parking deficit to five (5) parking spaces.

Based on the proposed concept plan, the eight (8) bay doors will face east and will not face onto a roadway or onto a residentially zoned or used property; however, there will be visibility from old SH-276. In order to address this, the applicant has provided a conceptual landscape plan that depicts two (2) additional accent trees, shrubs, and a berm adjacent to old SH-276. In addition, the applicant has provided accent trees and shrubs along the east property line for additional screening. Besides the bay doors, the applicant is proposing one (1) parking space for *Outside Storage*. The applicant has placed this parking space adjacent to the dumpster enclosure and continued shrubs adjacent to the parking space. This additional landscaping reduces the visibility of the *Outside Storage*.

At the time of submittal, the applicant included conceptual building elevations and has since made changes based on comments made during the October 28, 2025 Planning and Zoning Commission meeting. In review of the building elevations, they appear to generally conform to the material requirements for a property located within an *Overlay District*; however, the proposed building elevations appear to fall short of the articulation requirements, and four (4) sided architecture is not provided. Staff should note that provided building elevations are conceptual in nature and if the Specific Use Permit (SUP) is approved, any variances or exceptions shall be reviewed at the time of site plan. A *Condition of Approval* and an *Operational Condition* have been added to this case addressing this.

## **STAFF ANALYSIS**

Properties zoned Light Industrial (LI) District are generally located near or directly adjacent to major thoroughfares and other non-residential zoning districts, and generally should not be located adjacent to residentially zoned and used property. Given this, the permitted land uses within the Light Industrial (LI) District are limited to promote modern types of industrial land uses; however, a Specific Use Permit (SUP) is intended to acknowledge that not all land uses are appropriate in every Light Industrial (LI) District. In this case, the subject property is zoned Light Industrial (LI) District, which requires a Specific Use Permit (SUP) for a *Major Auto Repair Garage*. According to Subsection 02.02, *Specific Use Permit* (SUP), of Article 11, *Development Applicants and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In addition, the purpose of specifically requiring a Specific Use Permit (SUP) for the *Major Auto Repair Garage* land use in a Light Industrial (LI) District is intended to: [1] acknowledge that properties that are zoned Light Industrial (LI) District are typically closer to major thoroughfares and this type of land use -- *due to how it operates (e.g. major repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and*

upholstery) -- is not considered compatible in all areas, and [2] to prevent the proliferation of this land use in the City's industrial areas.

In review of the surrounding land uses, the subject property is bound to the north by Commercial (C), Heavy Commercial (HC), and Light Industrial (LI) Districts, where higher intensity uses with extensive *Outside Storage* exist. To the south there are commercial properties (*i.e. Galaxy Ranch Private School*) and a residential subdivision (*i.e. Meadowcreek Estates*). Given the variation in land uses, the subject property could provide a natural transition from the higher intensity land uses to the north into the residential and limited commercial uses to the south. That being said, this request is discretionary for the City Council pending a recommendation from the Planning and Zoning Commission. In making this decision, the Planning and Zoning Commission and City Council will need to determine if the deficiency in parking and the adjacencies warrant the approval of a *Major Auto Repair Garage* on the subject property. Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included *Conditions of Approval* described below and outlined within the *Draft Ordinance* contained in your packet.

## **NOTIFICATIONS**

On October 19, 2025, staff mailed 41 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Meadow Creek Estates Homeowners Association (HOA), which is the only HOA's or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notice in opposition to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Major Auto Repair Garage* then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of a *Major Auto Repair Garage* on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The construction of a *Major Auto Repair Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, the proposed *Major Auto Repair Garage* shall be subject to all of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). Review for conformance to these requirements shall be completed with the site plan submittal. In addition, a recommendation by the Architecture Review Board (ARB) shall be required prior to approval of the building elevations by the Planning and Zoning Commission. The approval of this Specific Use Permit (SUP) shall not constitute the approval of variances or exceptions to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Major Auto Repair Garage*.
  - (c) All outside storage on the subject property shall conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (d) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1765 T.L. Townsend Drive**

SUBDIVISION **N/A - Prop ID 10233**

LOT **Tract 1** BLOCK **N/A**

GENERAL LOCATION **NE Corner of Townsend Drive and Highway 276**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LI** CURRENT USE **Vacant**

PROPOSED ZONING **LI - SUP** PROPOSED USE **Heavy Auto Repair**

ACREAGE **.9** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Max Realty Holdings, LLC**

APPLICANT **Greenlight Studio, LLC**

CONTACT PERSON **Michael Grose**

CONTACT PERSON **Tyler Adams**

ADDRESS **229 Pioneer Court**

ADDRESS **100 N. Cottonwood Drive  
Suite 104**

CITY, STATE & ZIP **Royce City, Texas 75189**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Grose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15<sup>th</sup> DAY OF October, 2020

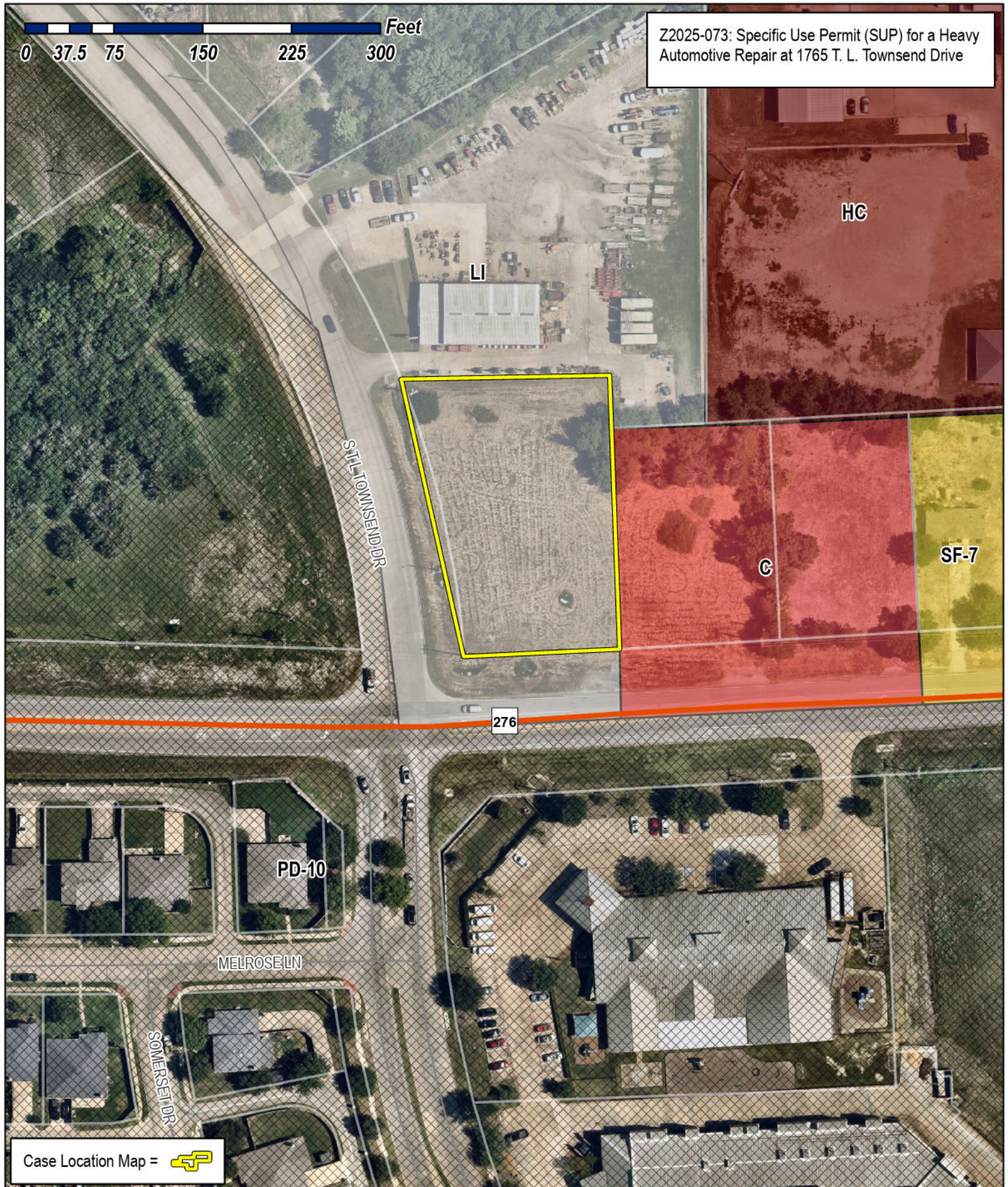
OWNER'S SIGNATURE

*Michael Grose*  
*Sarah Reddell*


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Z2025-073: Specific Use Permit (SUP) for a Heavy Automotive Repair at 1765 T. L. Townsend Drive

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



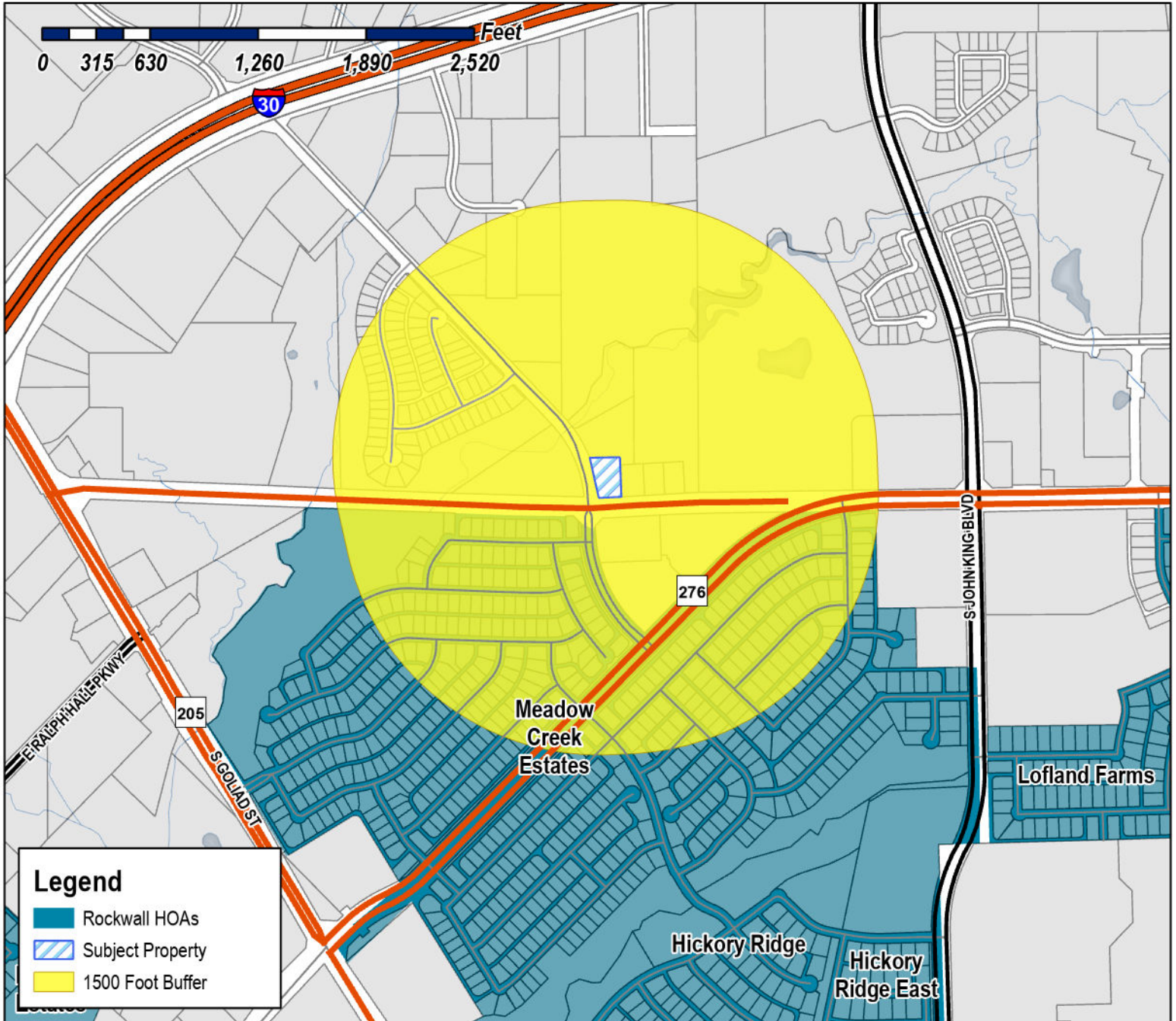




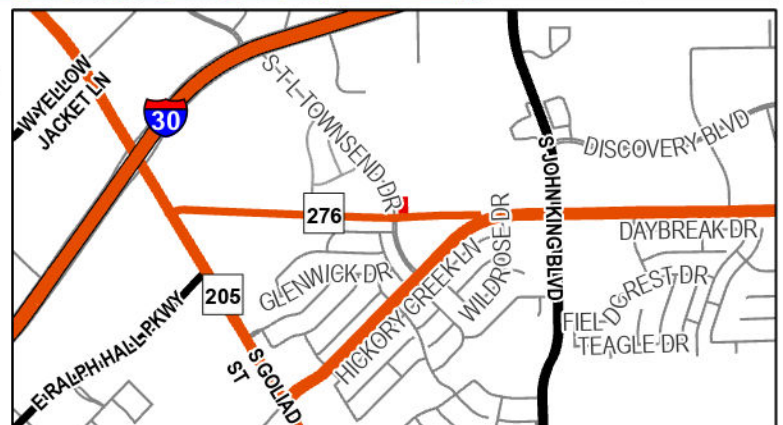
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**Case Number:** Z2025-073  
**Case Name:** SUP for a Heavy Automotive Repair  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1765 T.L Townsend Drive



**Date Saved:** 10/18/2025

For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, October 22, 2025 12:36 PM  
**Cc:** Miller, Ryan; Lee, Henry; Ross, Bethany  
**Subject:** Neighborhood Notification Program [Z2025-073]  
**Attachments:** Public Notice (10.20.2025).pdf; HOA Map (10.18.2025).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, October 24, 2025*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 11, 2025 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 17, 2025 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2025-073: SUP for a Major Auto Repair Garage**

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a *Specific Use Permit (SUP)* for a *Major Auto Repair Garage* on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

Thank you,

*Melanie Zavala*

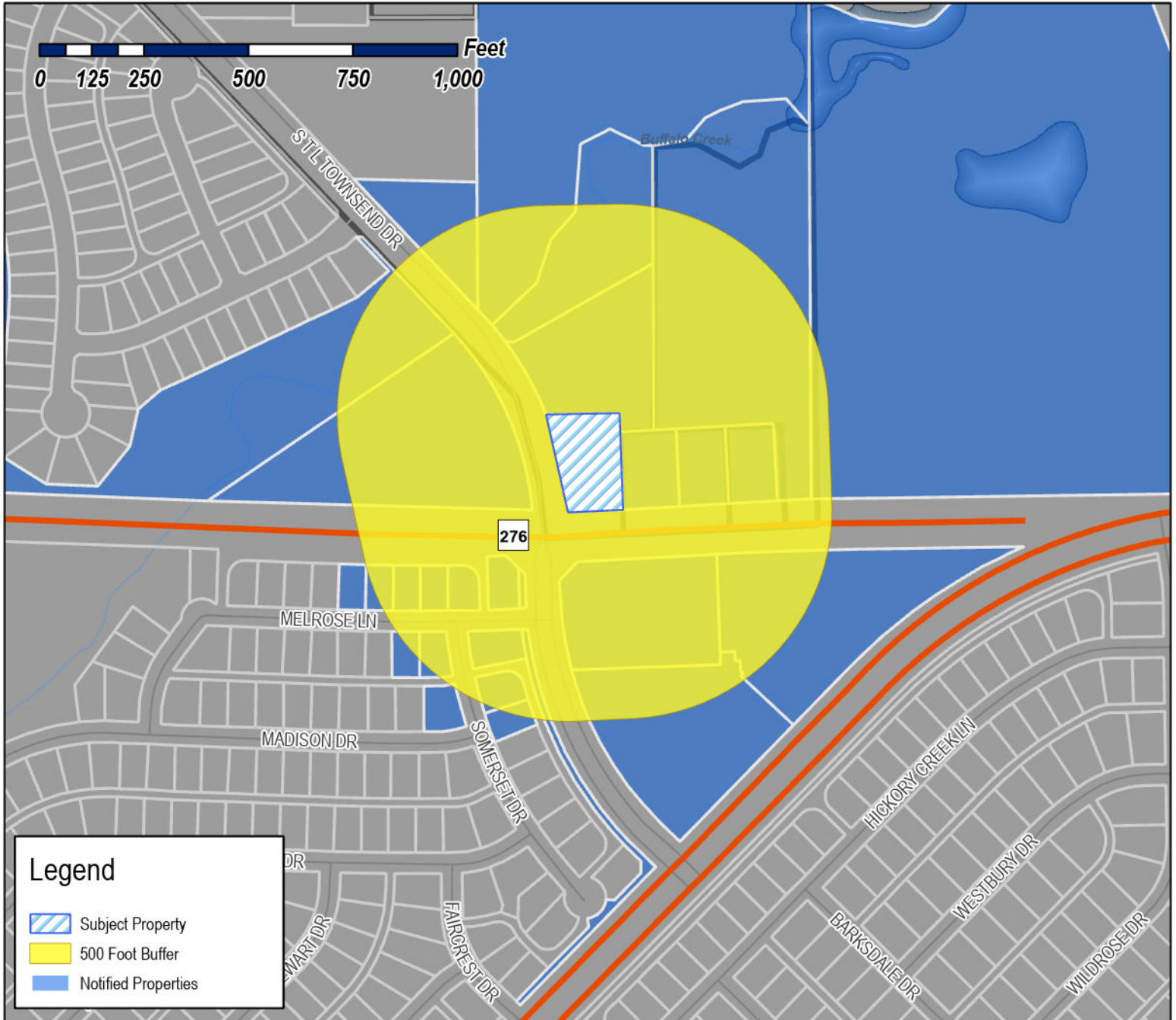
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2025-073  
**Case Name:** SUP for a Heavy Automotive Repair  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1765 T.L. Townsend Drive

**Date Saved:** 10/18/2025

For Questions on this Case Call: (972) 771-7745



HOYOS JOEL  
11214 GARLAND RD  
DALLAS, TX 75218

HOYOS JOEL  
11214 GARLAND RD  
DALLAS, TX 75218

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

VALK TRUST THE  
JAMES VALK SR AND CAROLYN C TRUSTEES  
1158 CHISHOLM RIDGE DR  
ROCKWALL, TX 75032

RESIDENT  
1415 HWY276  
ROCKWALL, TX 75032

RESIDENT  
1425 HWY276  
ROCKWALL, TX 75032

327 HOLDINGS LTD  
1500 COUNTY ROAD 303  
TERRELL, TX 75160

HAILE TADESSE T &  
TSEGU T HAKIM  
1524 MELROSE LN  
ROCKWALL, TX 75032

JENKINS PHILLIP & PEARLIE M  
1530 MELROSE LN  
ROCKWALL, TX 75032

LOYD AMANDA &  
SUSAN LOYD & PAUL LOYD  
1536 MELROSE LN  
ROCKWALL, TX 75032

RESIDENT  
1542 MELROSE LN  
ROCKWALL, TX 75032

SCOTT MONTE K & APRIL E  
1542 MADISON DR  
ROCKWALL, TX 75032

BYRD BLAIR S & GAYLA D  
1543 MELROSE LN  
ROCKWALL, TX 75032

CORTEZ LIDIA G  
1548 Melrose Ln  
Rockwall, TX 75032

WAKO GIZAW L & TSIYON E  
1549 MELROSE LN  
ROCKWALL, TX 75032

ZAREMBA MICHAEL J  
1554 MELROSE LN  
ROCKWALL, TX 75032

MOTA SAMUEL  
1557 Trowbridge Cir  
Rockwall, TX 75032

MOTA SAMUEL  
1557 Trowbridge Cir  
Rockwall, TX 75032

CURRIN CONSTRUCTION GROUP LLC  
1604 VISTA COURT  
MCCLENDON CHISHOLM, TX 75032

RESIDENT  
1611 HWY276  
ROCKWALL, TX 75032

RESIDENT  
1615 T L TOWNSEND DR  
ROCKWALL, TX 75032

RESIDENT  
1650 S JOHN KING  
ROCKWALL, TX 75032

RESIDENT  
1725 T L TOWNSEND  
ROCKWALL, TX 75032

MEADOWCREEK ESTATES HOMEOWNERS ASSOC  
INC  
1800 Preston Park Blvd Ste 101  
Plano, TX 75093

MEADOWCREEK ESTATES HOMEOWNERS ASSOC  
INC  
1800 Preston Park Blvd Ste 101  
Plano, TX 75093

RESIDENT  
1835 T L TOWNSEND DR  
ROCKWALL, TX 75032

RESIDENT  
1855 TL TOWNSEND DR  
ROCKWALL, TX 75032

GALAXY RANCH SHOPPING CENTER LP  
2101 FIREWHEEL PKWY  
GARLAND, TX 75040

GALAXY RANCH SHOPPING CENTER LP  
2101 FIREWHEEL PKWY  
GARLAND, TX 75040

GALAXY RANCH SCHOOL LP  
2101 FIREWHEEL PKWY  
GARLAND, TX 75040



MAX REALTY HOLDINGS LLC  
229 PIONEER CT  
ROCKWALL, TX 75189

RESIDENT  
2362 SOMERSET DR  
ROCKWALL, TX 75032

MAYSON MERCY  
2362 SOMERSET DR  
ROCKWALL, TX 75032

RESIDENT  
2368 SOMERSET DR  
ROCKWALL, TX 75032

RESIDENT  
2374 SOMERSET DR  
ROCKWALL, TX 75032

CHERUKURU NANDGOPAL  
909 SUNNYVALE DR  
ROCKWALL, TX 75087

1540 EAST IH 30 ROCKWALL LLC  
M/R

RDMS PROPERTIES LLC- SERIES L (RS)  
A SERIES OF RDMS PROPERTIES  
PO BOX 1569  
ROCKWALL, TX 75087

KAMY REAL PROPERTY TRUST  
PO BOX 50593  
DENTON, TX 76206

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
PO BOX 530292  
BIRMINGHAM, AL 35253

COLIN-G PROPERTIES LTD  
A TEXAS LIMITED PARTNERSHIP  
PO BOX 847  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-073: SUP for a Major Auto Repair Garage

Hold a public hearing to discuss and consider a request by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a Specific Use Permit (SUP) for a Major Auto Repair Garage on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 11, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 17, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 17, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-073: SUP for a Major Auto Repair Garage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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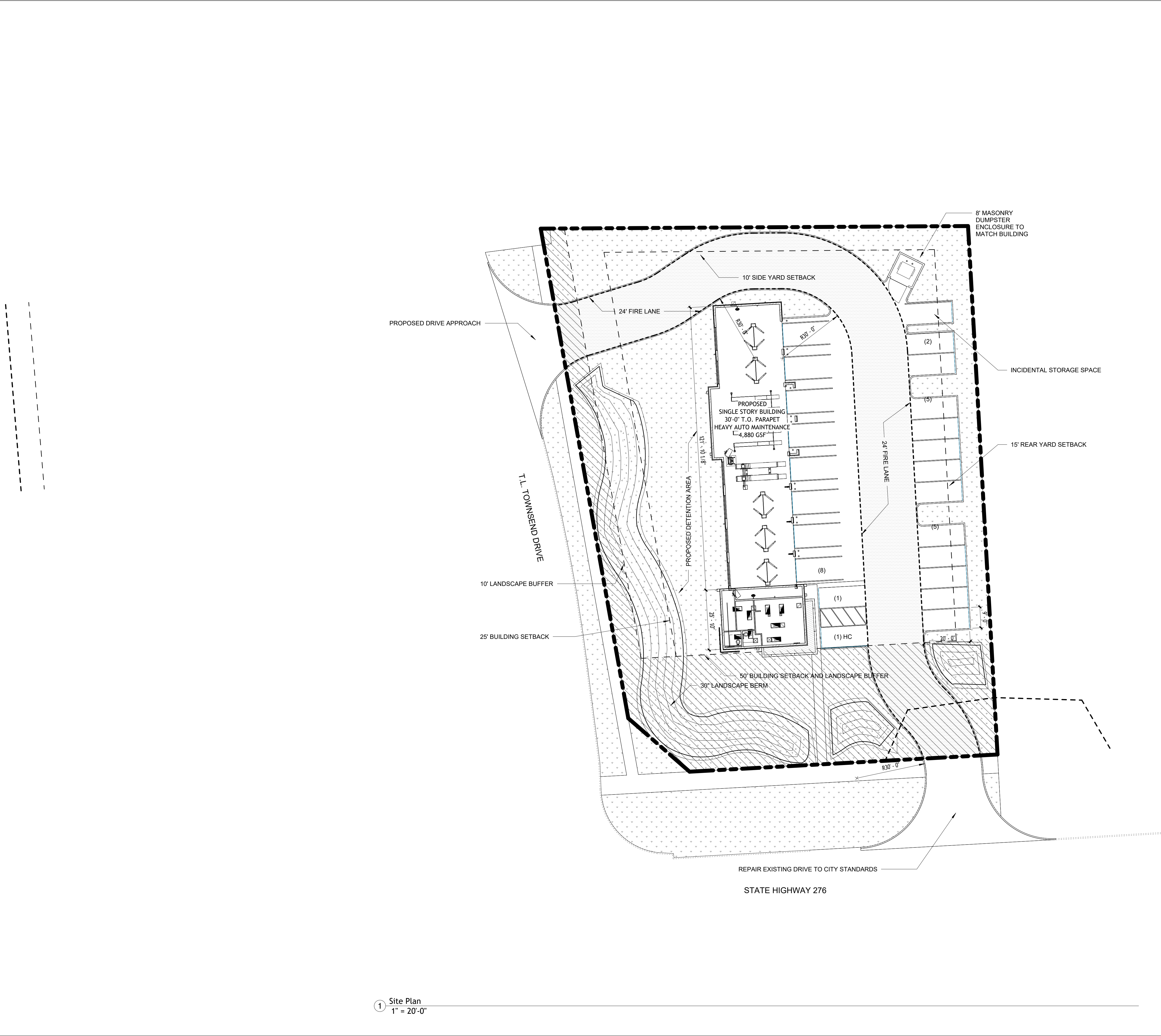
We oppose this request for the health & safety of our children + parents at Galaxy Ranch School. Currently we are experiencing an issue with semi-trucks parking at the dead-end cul-de-sac on SH276, bringing prostitution, drug use + human trafficking, the approval of this request will only exacerbate the problem.

Name: Brad Larsen Galaxy Ranch School  
Address: 1835 T.L. Townsend Drive

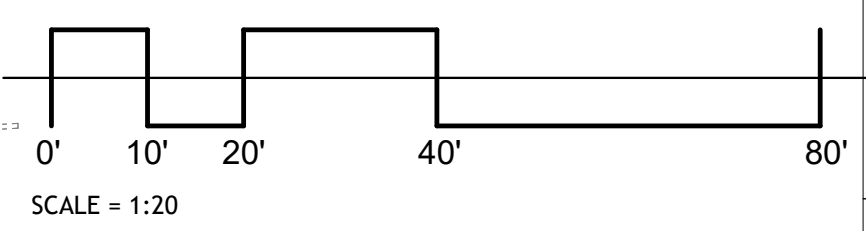
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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
  - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
  - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
  - ALL UTILITIES MUST BE UNDERGROUND.
  - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.
  - NO ABOVE GROUND STORAGE TANKS OR OUTSIDE STORAGE PERMITTED.
- DRAINAGE NOTES**
- AS-BUILT/EXISTING FLOWS SHALL BE MAINTAINED.
  - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.
- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
  - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
  - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
  - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
  - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.



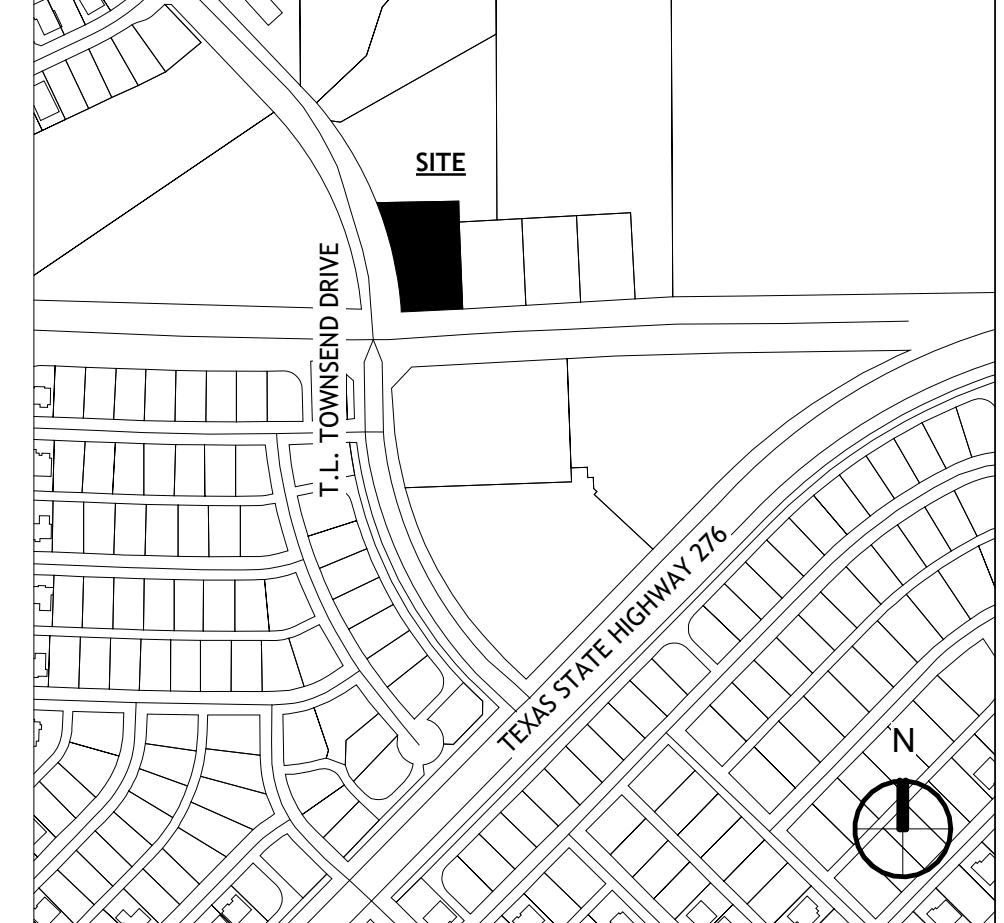
**GREENLIGHT**  
STUDIO, LLC  
www.greenlightcompany.com

**Applicant:**  
Greenlight Studio LLC  
100 N. Cottonwood Drive  
Suite 104  
Richardson, Texas 75080  
P: 214.810.4535

**Owner:**  
Max Realty Holdings LLC  
229 Hanes Court  
Royce City, Texas 75189



Site Data Summary Table	
General Site Data	
Zoning	LI
Proposed Land Use	Auto Repair, Heavy (SUP)
Lot Area	39,005
Lot Area	0.90
Building Footprint Area (Approximate)	4,880
Area Covered by Canopy	150
Maximum Building Height (# Stories)	1
Maximum Building Height (Feet)	35'
Lot Coverage	13%
Floor Area Ratio	1/8
Parking	
Parking Required 2 per Bay	16
Standard Parking Provided	16
Accessible Parking Required	1
Accessible Parking Provided	1
Total Parking Provided	17
Landscaping Area	
Landscap Buffer Area	9490
Street Yard Landscape Provided	7810
Internal LS Provided	10,609
Total LS Area Provided:	18,419
Other Planting Area	0
Permeable Areas	
Permeable Pavement	0
Other Permeable Area	0
Total permeable Area	18,419
Impervious Area	
Building Area	4,880
Sidewalks, Pavement, and other Impervious Flatwork	15,527
Other Impervious Area (curbs)	179
Total Impervious Area	20,586
Total Landscape Area, Impervious Area, Permeable Area	39,005
Total Area for Outdoor Storage	None



VICINITY MAP - NOT TO SCALE

1 Site Plan  
1" = 20'-0"

City Project No. \_\_\_\_\_

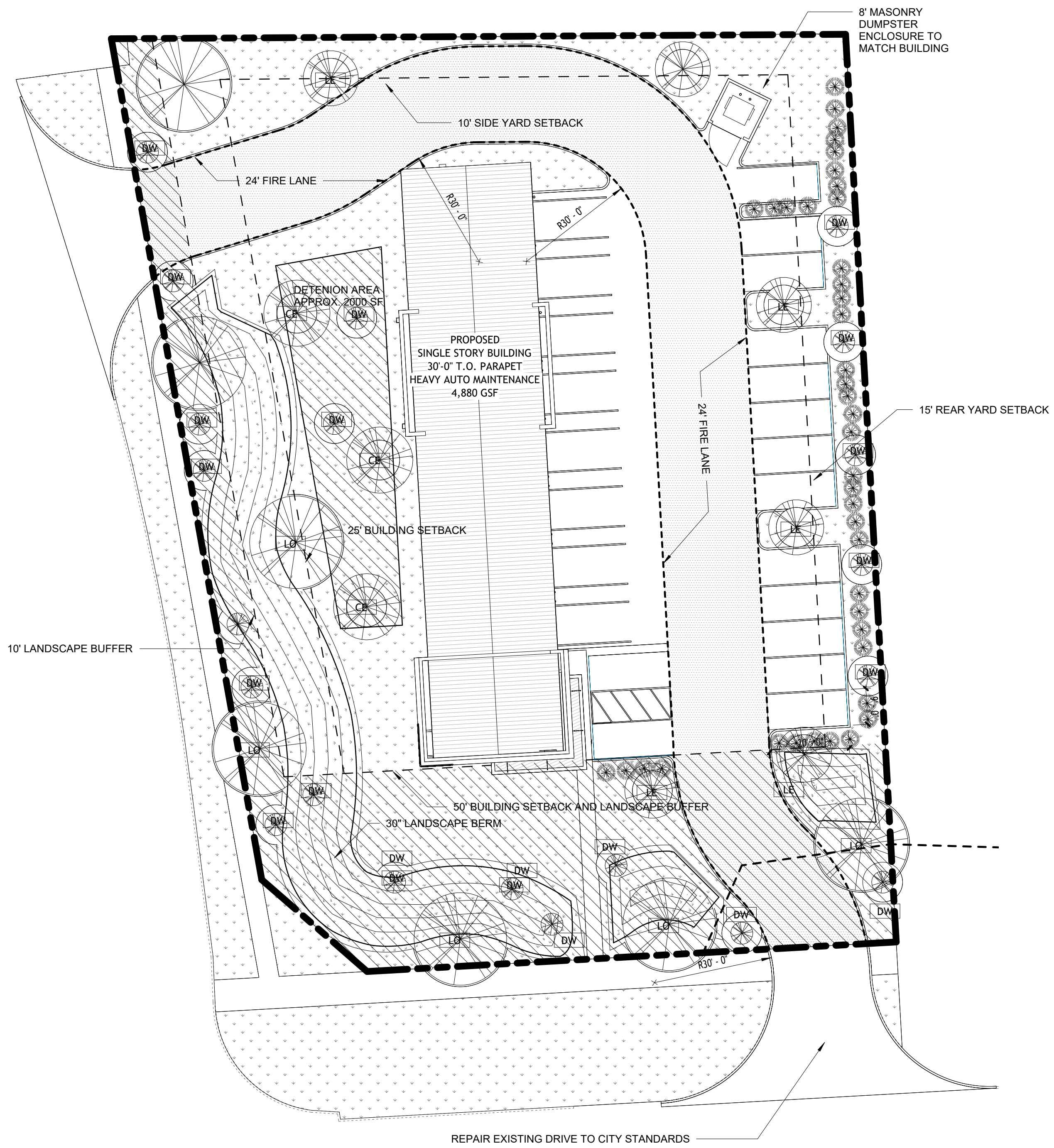
Site Plan

**INTEGRITY 1ST ADDITION  
(PROPOSED)  
BLOCK A, LOT 1**

.9ACRES  
City of Rockwall, Rockwall County, Texas  
N.M. BALLARD SURVEY, Abstract No. A0024

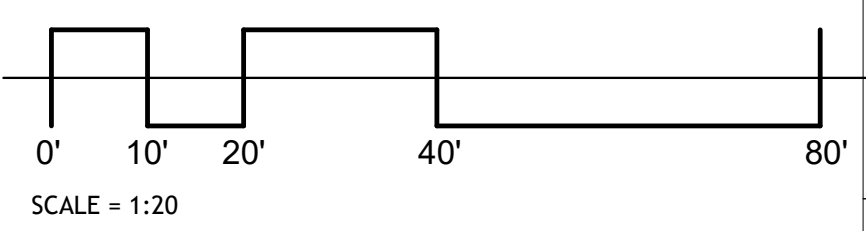
Prepared November 4, 2025





Planting Schedule		
Type Mark	Type Comments	Count
	Boxwood	41
CE	Cedar Elm	3
DW	Desert Willow	21
LE	Lacebark Elm	6
LO	Live Oak	7

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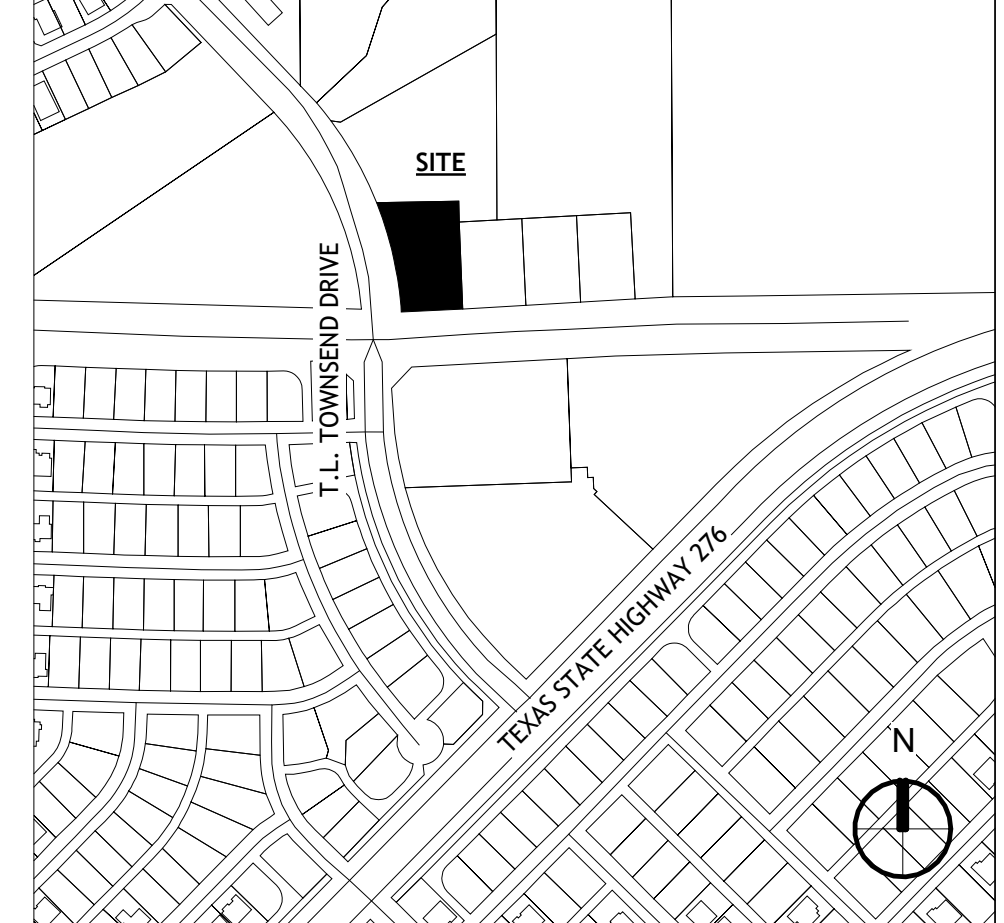
**GREENLIGHT**  
STUDIO, LLC  
www.greenlightcompany

**Applicant:**  
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VICINITY MAP - NOT TO SCALE

City Project No. \_\_\_\_\_

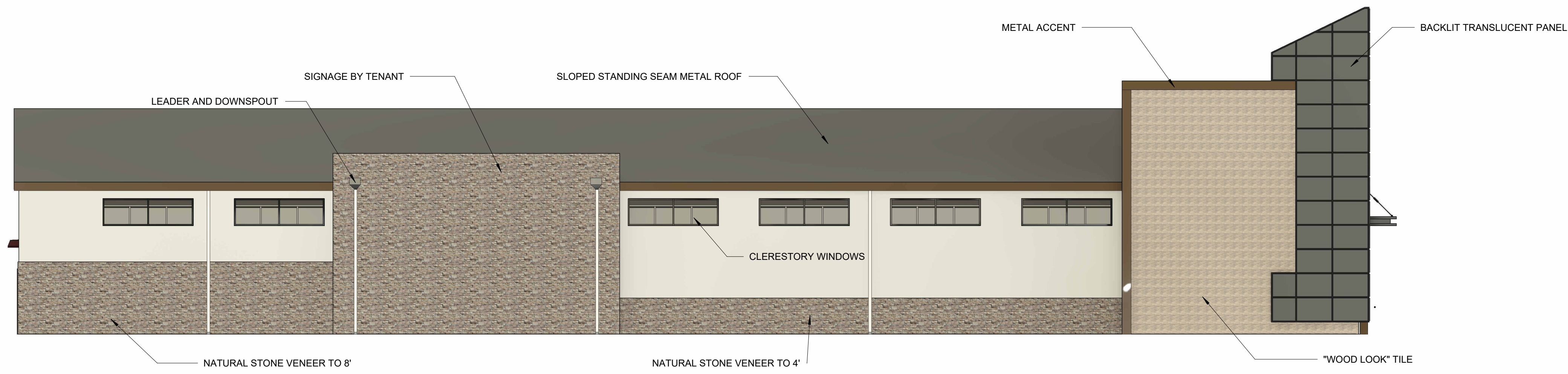
Conceptual Landscape Plan

**INTEGRITY 1ST ADDITION  
(PROPOSED)  
BLOCK A, LOT 1**

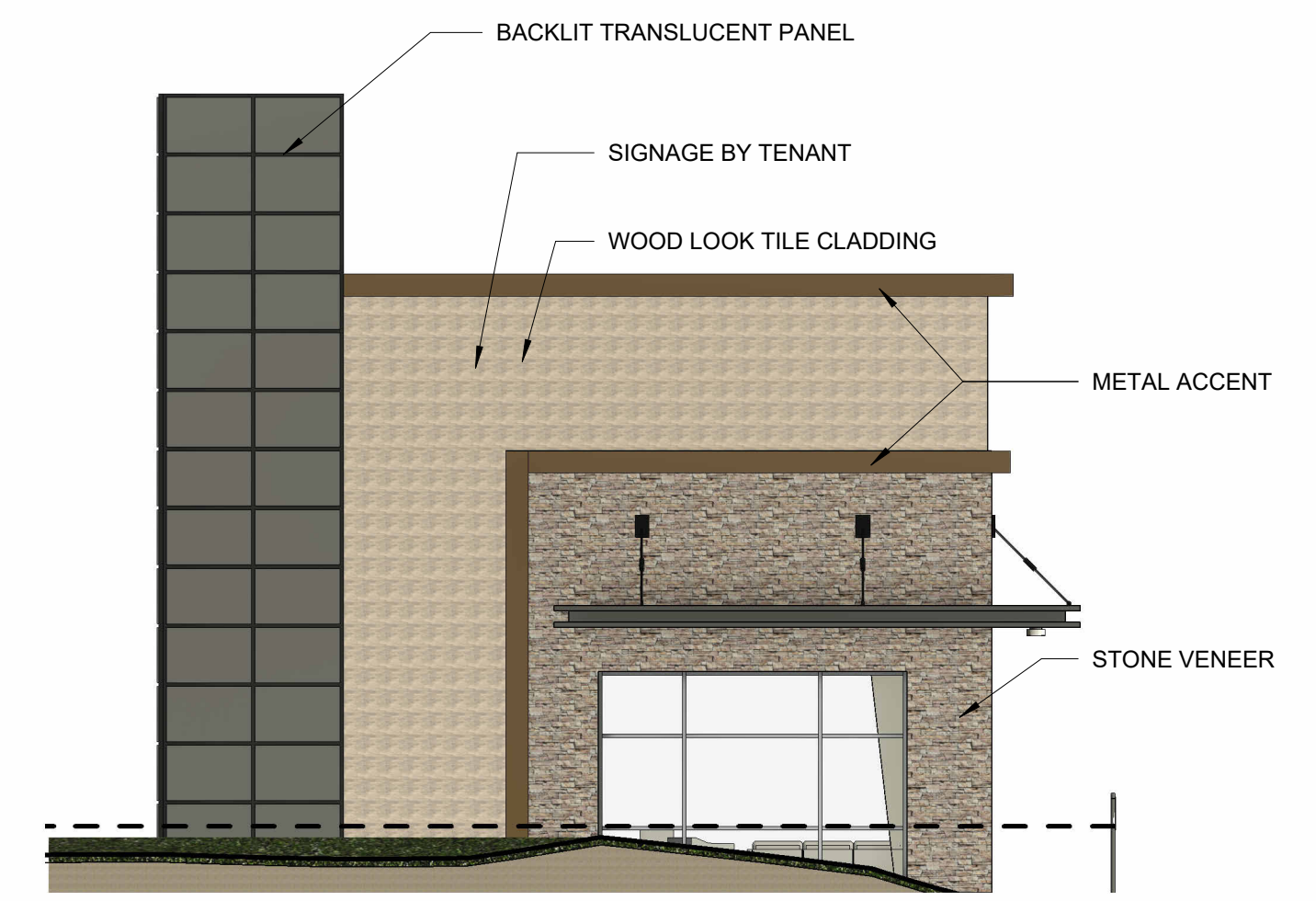
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Prepared November 4, 2025

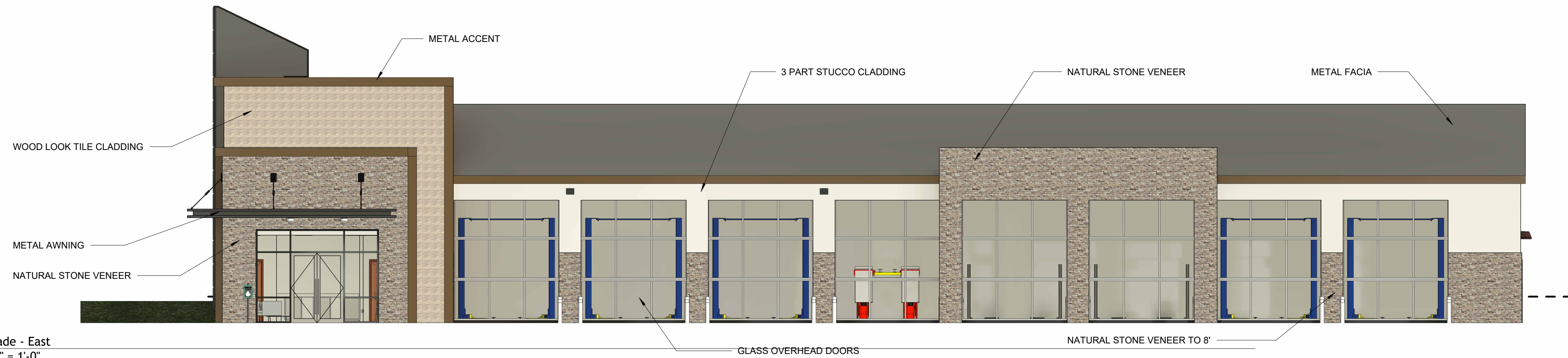




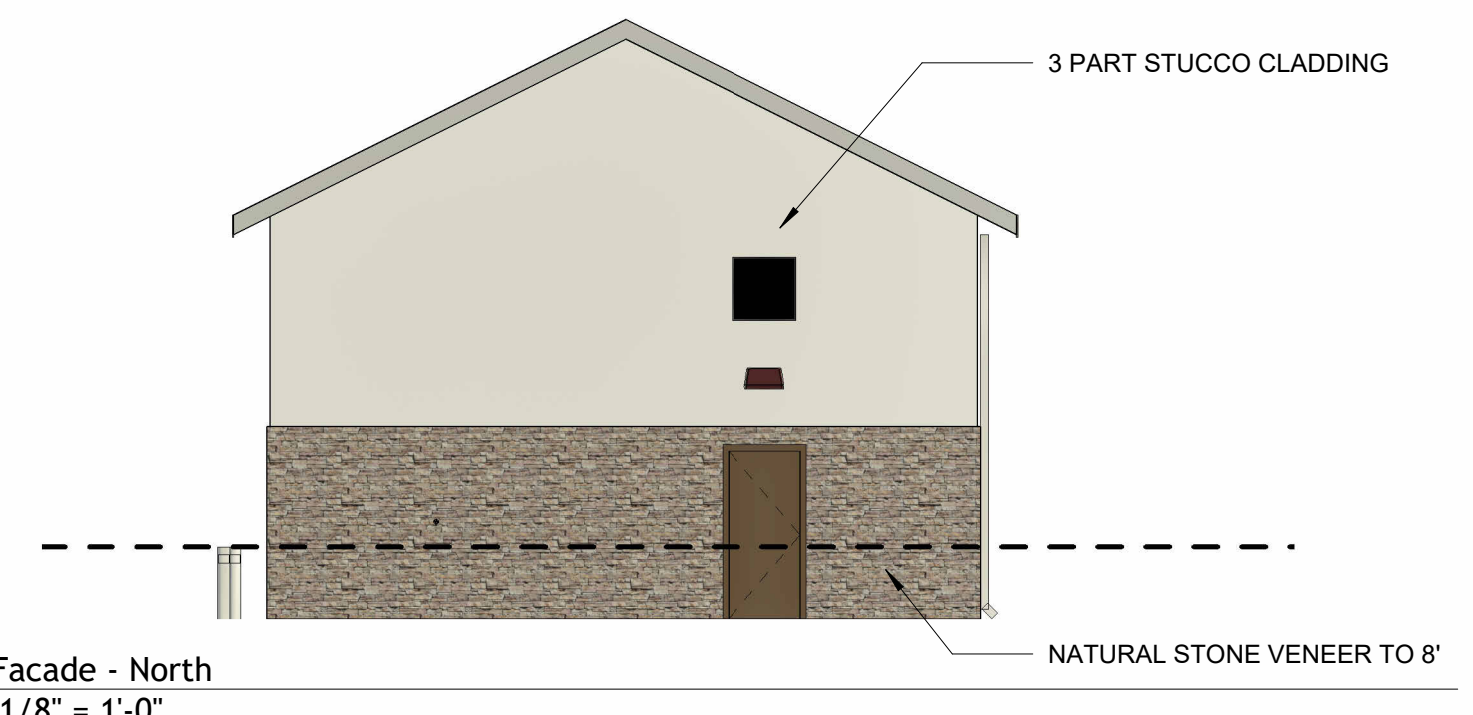
5 Facade - West  
1/8" = 1'-0"



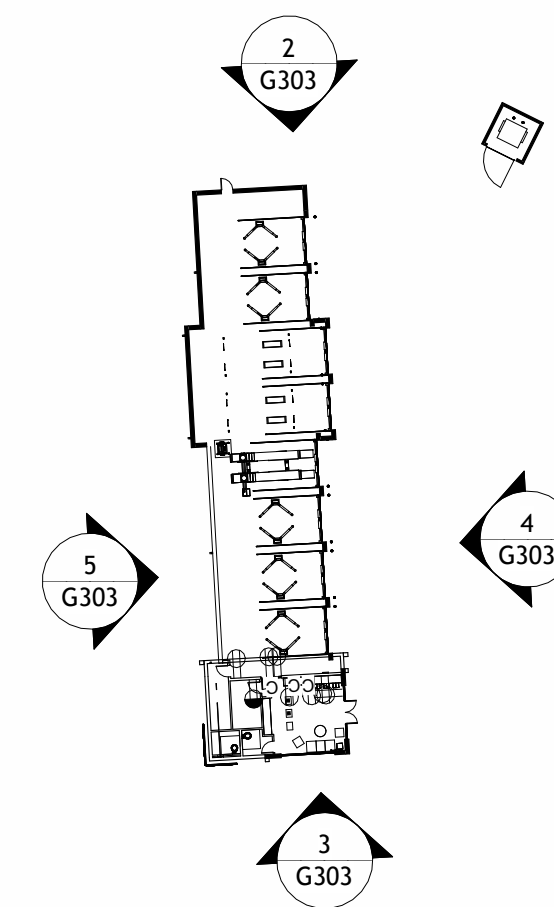
3 Facade - South  
1/8" = 1'-0"



4 Facade - East  
1/8" = 1'-0"



2 Facade - North  
1/8" = 1'-0"



1 Facade Key Plan  
1" = 50'-0"

# GREENLIGHT

STUDIO, LLC  
www.greenlightcompany

Applicant:  
Greenlight Studio LLC  
100 N. Cottonwood Drive  
Suite 104  
Richardson, Texas 75080  
P: 214.810.4535

Owner:  
Max Realty Holdings LLC  
229 Flanders Court  
Royce City, Texas 75189

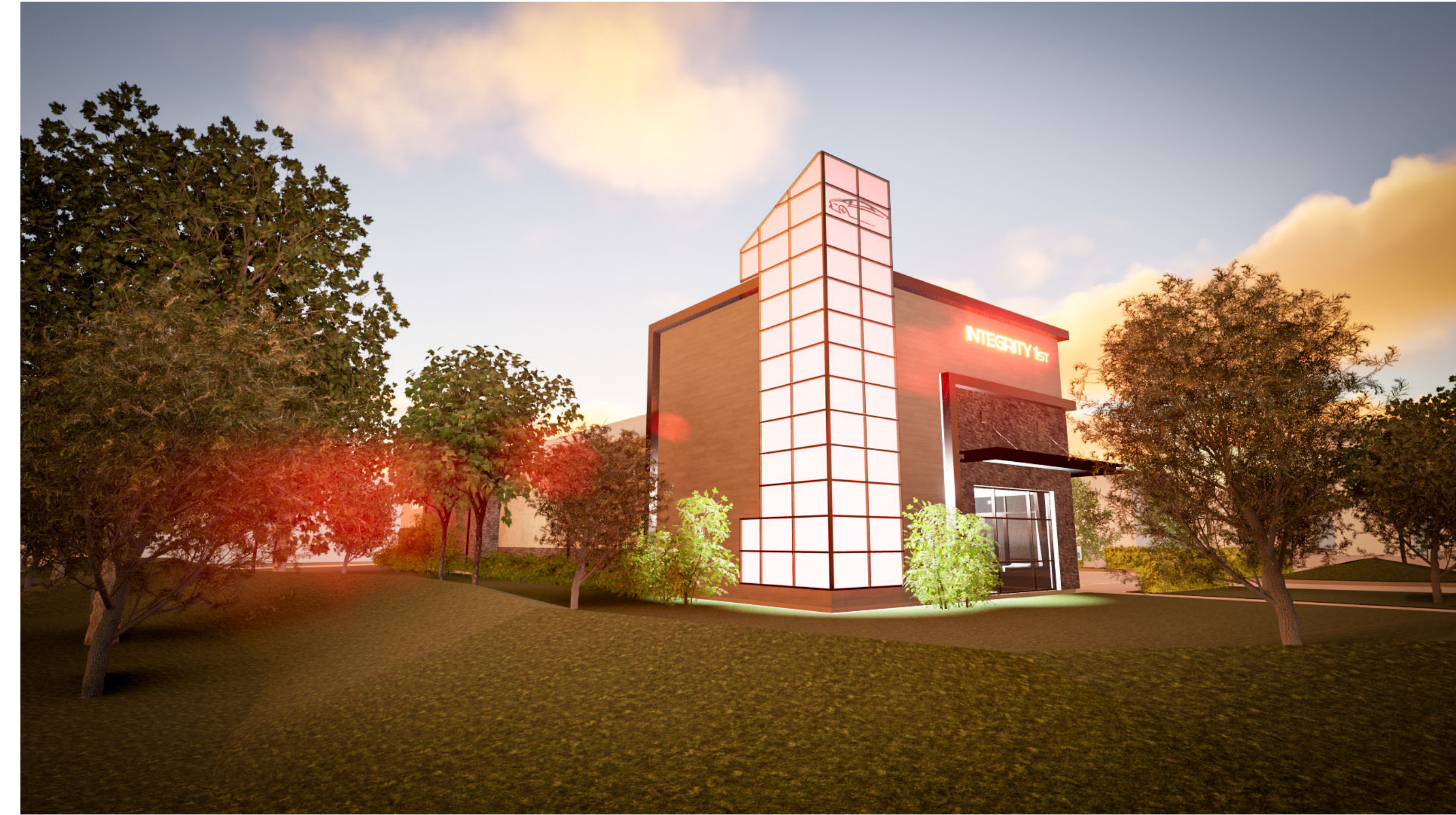
City Project No. \_\_\_\_\_

## Facade Plans INTEGRITY 1ST ADDITION (PROPOSED) BLOCK A, LOT 1

.9ACRES  
City of Rockwall, Rockwall County, Texas  
N.M. BALLARD SURVEY, Abstract No. A0024

Prepared November 4, 2025





**GREENLIGHT**

STUDIO, LLC  
www.greenlightcompany.com

**Applicant:**  
Greenlight Studio LLC  
100 N. Cottonwood Drive  
Suite 104  
Richardson, Texas 75080  
v: 214.810.4335

**Owner:**  
Max Realty Holdings LLC  
229 Pioneer Court  
Royce City, Texas 75189

City Project No. \_\_\_\_\_

Color Renderings

**INTEGRITY 1ST ADDITION  
(PROPOSED)  
BLOCK A, LOT 1**

.9ACRES  
City of Rockwall, Rockwall County, Texas  
N.M. BALLARD SURVEY, Abstract No. A0024

Prepared November 4, 2025



Presented By:  
Kevin Syed

integrity1auto.com  
@integrity1auto



# BRAND BOOK

Discover the Integrity Difference





## MESSAGE FROM THE FOUNDER

With **over 20 years of experience** in the automotive repair industry, I have gained extensive knowledge and expertise. As the founder and President at Integrity 1st Automotive, I have built a leading and innovative brand **known for quality and reliability**. My commitment to excellence has helped me establish lasting relationships with clients and colleagues alike, leading to my **election as President of Lamborghini Club Dallas**, where I lead the ultra-successful. I am passionate about inspiring and motivating others, creating a **positive and collaborative work environment** that fosters growth and encourages innovation. Through my leadership, Integrity 1st Automotive has become **synonymous with integrity, professionalism, and customer satisfaction**. I am excited to continue growing in this dynamic industry, confident in my ability to continue to drive success and growth.

*Kevin Syed*



# OUR DRIVERS



**Kevin Syed**  
Chief Executive Officer

HBBA, BP Petroleum Franchisee & Trainer,  
President of Lamborghini Club Dallas

**Driving our Growth**



**Anthony Wheeler**  
Chief Operating Officer

25+ Years in the Automotive Industry,  
EQI Certified, Military Veteran

**Driving our Operations**



**Ramy Nazim**  
Chief Visionary Officer

HBSc of University of Toronto,  
10 years SAAS & PO experience

**Driving our Innovation**



**Yusuf Khan & Scott Davis**  
Regional Directors

CMPS Certified, Xinnix Certified, CMO Certified, BP  
Petroleum Franchisee

35+ Years of Excellence in the Automotive Industry,  
Multiple Industry Specific Certifications

**Driving our General Managers**



**Sherry Hussain**  
Chief Financial Officer

CPA, Tax Lead for Johnson & Johnson,  
Educator at CPA Canada

**Driving our Finances**



**Asad Rahman**  
Chief Legal Officer

Experienced corporate attorney with both  
transactional and litigation experience

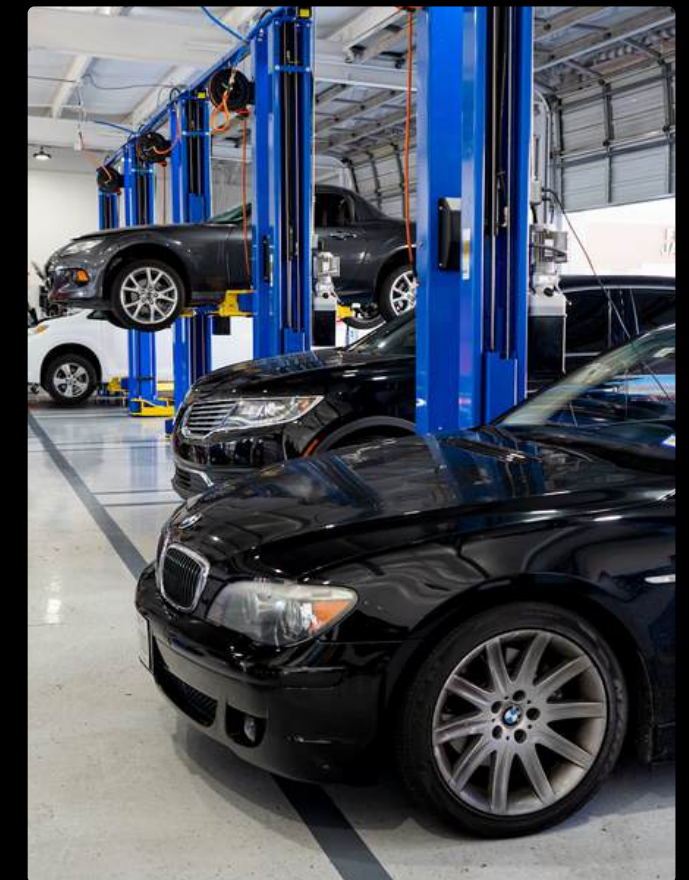
**Driving our Legal**



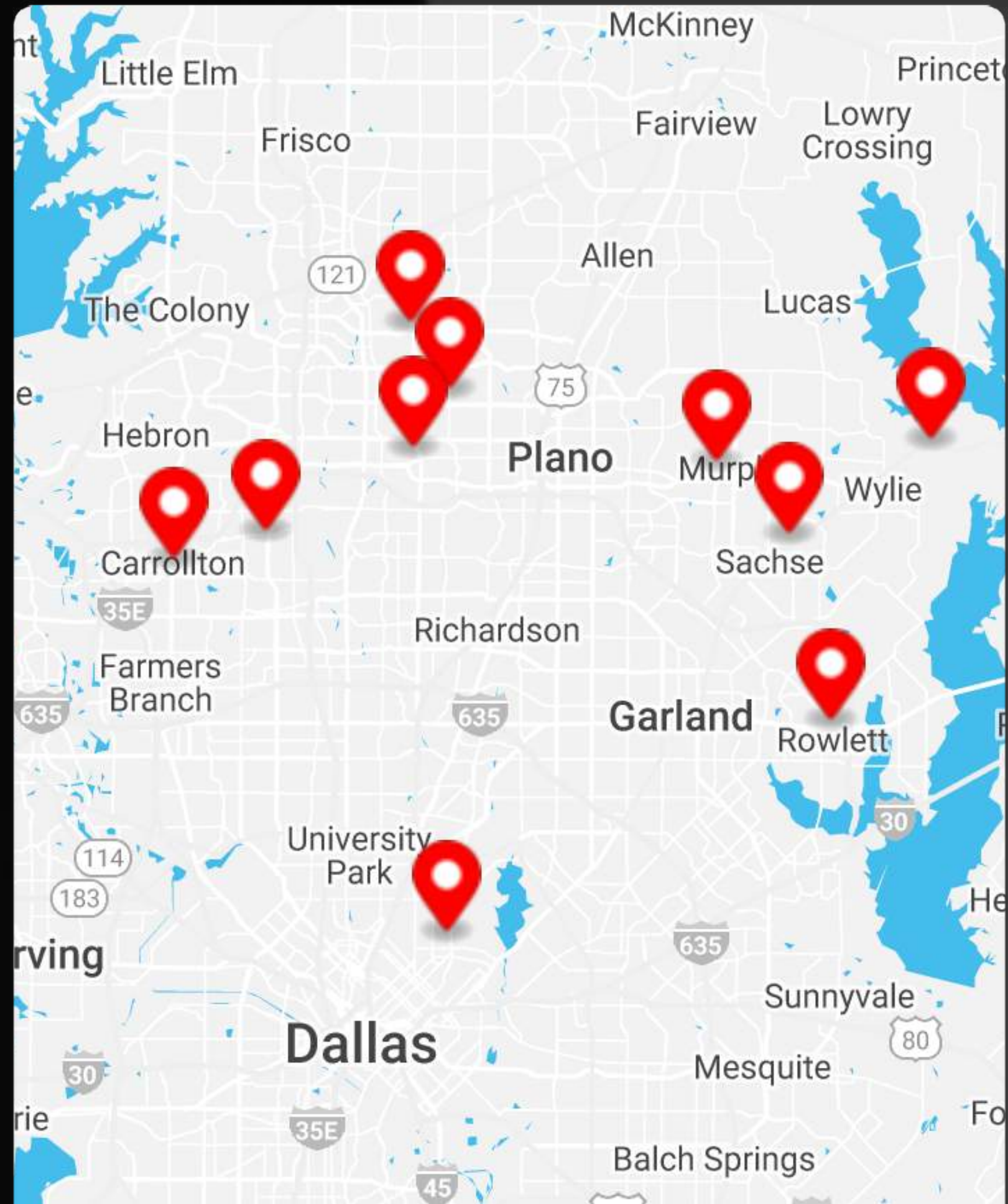
# OUR STORY



- Established in 2015 in Plano, have since **grown to 10 locations** across the DFW
- Serving the **Dealership-alternative market**; high quality repairs, equipment, service
- Maintenance, Repairs, Tires & Alignments for all makes and models **under one roof**
- Our value proposition to consumers is trust, **NOT price**. We are a **YES** company.
- Focal-point on **leveraging technology** to improve the employee and consumer experience (e.g. Digital vehicle inspections, Digital Drop-off, proprietary CRM etc.)
- Focal-Point on **Innovation** (e.g. Mobile rewards app, Annual paid memberships)
- Our **investments** into our buildings, lobbies, and Dealer-level equipment attract our target demographic and top-talent!
- Among the **highest rated** service centers within the communities we serve; **ranked by several industry-leading outlets** (e.g. CarFax, RepairPal, Nextdoor, AAA)
- The **preferred Fleet maintenance provider** for several reputable organizations



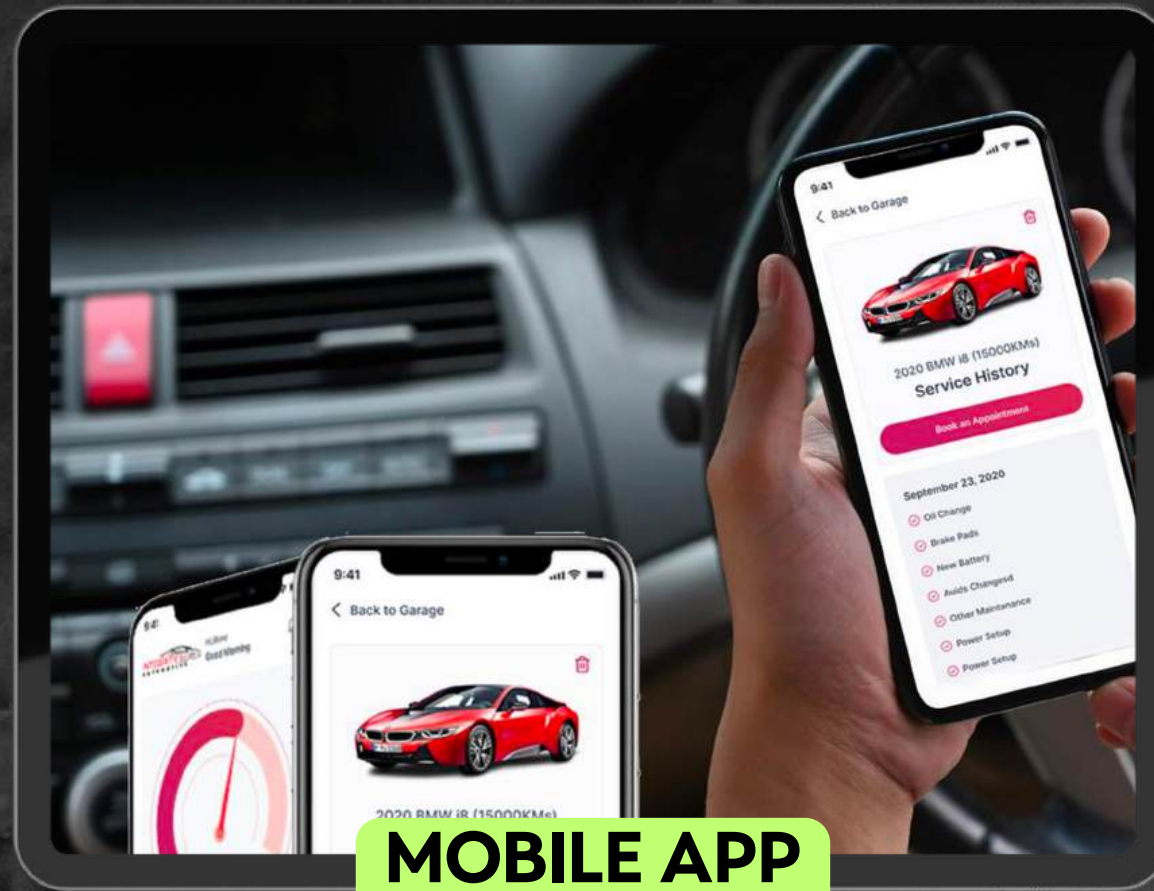








**DIGITAL DROPOFF**



**MOBILE APP**



**MENU BOARDS**



**PLATINUM MEMBERS**



**DIGITAL INSPECTIONS**



**IN-HOUSE CRM**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**





**BEFORE**



**AFTER**



# TRUSTED FLEET MAINTENANCE



**INTEGRITY 1st AUTOMOTIVE** | **DONATE IMPACT** | integrity1auto.com | f i y t in

## FLEET SERVICES WITH GENUINE RETURN ON INVESTMENT

It's about keeping your vehicles on the road longer and in top-form with minimal downtime.

**Digital Vehicle Inspections**  
Understand the status of your vehicle backed with photo and video evidence.

**Cloud Service Management**  
Real-time access to all service reports including invoices and inspections

**Dealership Alternative**  
Equipped with all dealership-level tools and equipment for all vehicle makes and models.

**THE BOTTOM LINE.**  
We will keep your vehicles on the road and in top-form longer; preventing unnecessary downtime and avoidable repairs. This is measurable value you

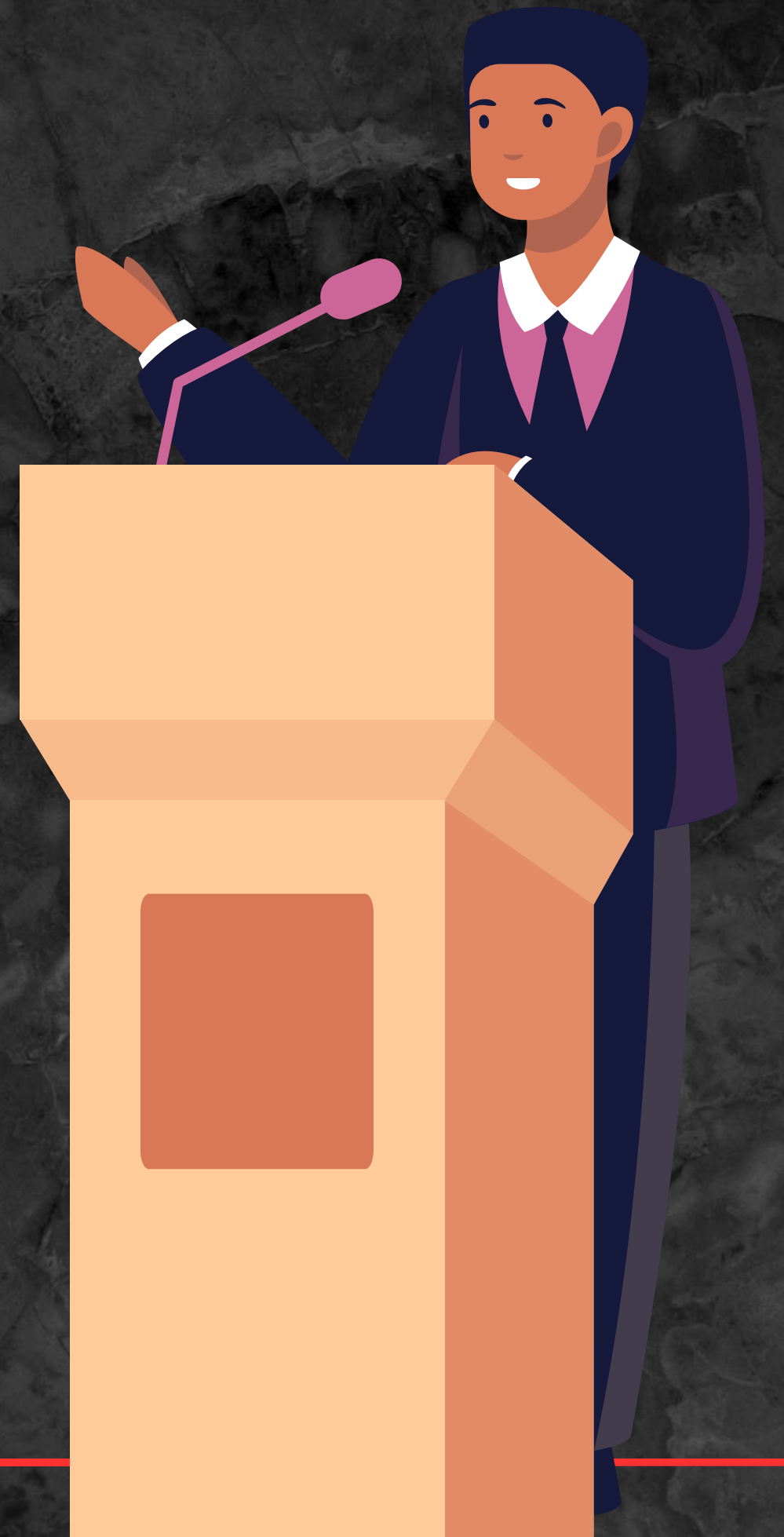
★★★★★  
"...of all the fleet management services we leverage across the country, Integrity 1st has by far exceeded our expectations. We receive priority service, real-time updates, inspection reports with photos, accessible records, and great pricing. Highly recommended!"





# STATE OF THE MARKET






- Believe it or not, **big-boxes only represent 20-25% of the market.** The majority of the market is represented by mum-n-pop operators.
- **Massive consolidation** is currently happening with Private Equity
- The P/E-backed shops are struggling as their entry inevitably **affects culture and leads to loss of talent**; top talent then seeks employee/career focussed businesses.
- The majority of operators are failing to **establish trust to meet the expectations and demands of a new market (millennials, Gen Z).** Examples of this include hand-written invoices, forcing you to wait in ugly lobbies with no shuttle service, don't accept credit cards, improper advising practices etc.





# FINANCIALS OVERVIEW

\*data excludes 1 franchised location

YEAR	# LOCATIONS*	REVENUE	% GROWTH
2019	4	\$2,059,930.59	N/A
2020	4	\$2,713,351.33	 +32%
2021	6	\$4,602,370.11	 +70%
2022	6	\$5,870,578.79	 +28%
2023	6	\$8,072,208.31	 +37%
2024	9	\$11,991,451.97	 +49%



# WHY PARTNER WITH US

- Proven model that scales effectively across different markets/demos
- Limited Supply (SUP's are rare)
- The industry is set to hit \$574 billion by 2026
- Average age of vehicles on the road hit a record high of 12.5 years!
- An essential and recession-proof business
- Experienced leadership; data-driven, innovative, and tech-led
- Low Overheads & Leveraging Technology
- Single-owner structure (v.s. P/E backed firms)
- Don't just take our word for it; our customers say it best with over 5,000 reviews of which our lowest store rating is 4.8 out of 5.0 on Google







**Client Appreciation**



**Unrivaled Customer Service**



## Open for Service. Invested for Good.

At Integrity 1st Car Pros, it doesn't stop at service, **we are committed to building community in every city we operate.** Across our footprint, we're known not only for top-tier automotive care, but for creating moments that bring people together.

At the heart of our approach are programs like:

- **Community BBQs and seasonal family events**, where we open our doors, fire up the grill, and foster real connections between our team and the families we serve.
- **Auto Care 101 workshops**, designed to empower new drivers, especially teens and families, with the confidence to understand basic vehicle care and ownership.
- **Charity partnerships** and drives supporting organizations like **North Texas Food Bank**, **Kids Matter International**, **Christmas Cops**, and **First Responders International**, providing year-round opportunities to give back in meaningful ways.
- **ISD Credit-Approved Student Programs.** We are passionate about supporting the next generation of technicians and service professionals.





**Autocare 101 Classes**



**ISD-Approved Classes**



**Community Charities**





## **We don't chase industry standards—we set them.**

- **Digital Vehicle Inspections (DVIs):** Every vehicle we service receives a comprehensive inspection with annotated photos and videos, giving customers full transparency into findings and recommendations.
- **Digital Drop-Off & Mobile App:** Customers can schedule, authorize, and pay—all from their phones. Our branded rewards app keeps them connected and engaged.
- **Premium Amenities:** Every Integrity 1st location features stunning lobbies with massage chairs, high-end coffee, beverage and snack stations, family-friendly accommodations, and complimentary Uber shuttle service!
- **Eco-Friendly Operations:** From paperless cloud-based workflows to low-impact equipment and noise-reduction strategies, we're committed to minimizing disruption to our communities.
- **Best-in-Class Nationwide Warranty:** Our warranty program offers up to 3 years or 36,000 miles of coverage—2–3 times longer than most dealerships, and honored coast-to-coast.
- **Award-Winning & Trusted:** Recognized by CarFax, RepairPal, and featured on the Remarkable Results podcast, Integrity 1st Car Pros is a respected name in modern auto care. We're trusted by top fleet accounts across Texas, including NTTA, TDI, Enterprise, BrightView, and multiple city governments.
- **Closed on Weekends:** Unlike many shops that overextend staff and compromise quality, we're proudly closed on weekends. This policy attracts top-tier technicians, promotes team wellness, and creates a predictable, quiet rhythm for our neighbors and the surrounding area—no overflow parking, no weekend commotion.

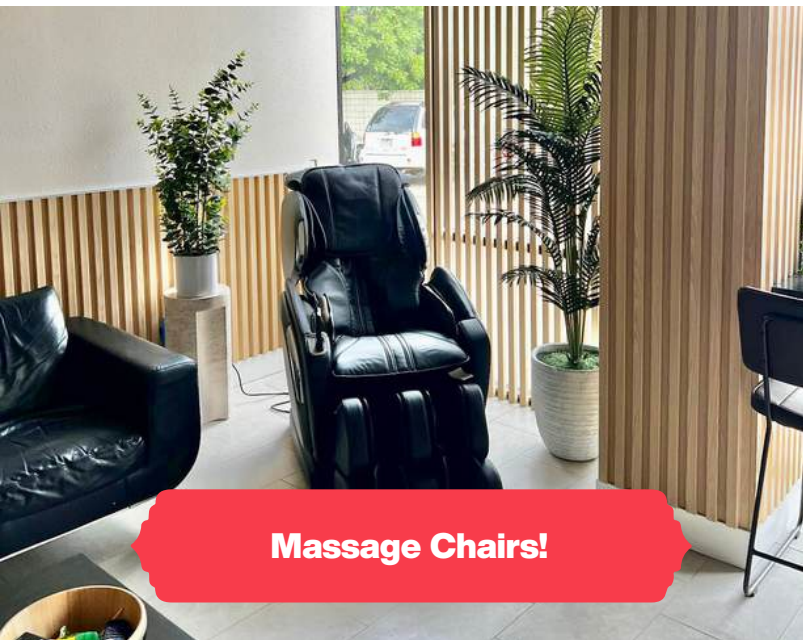




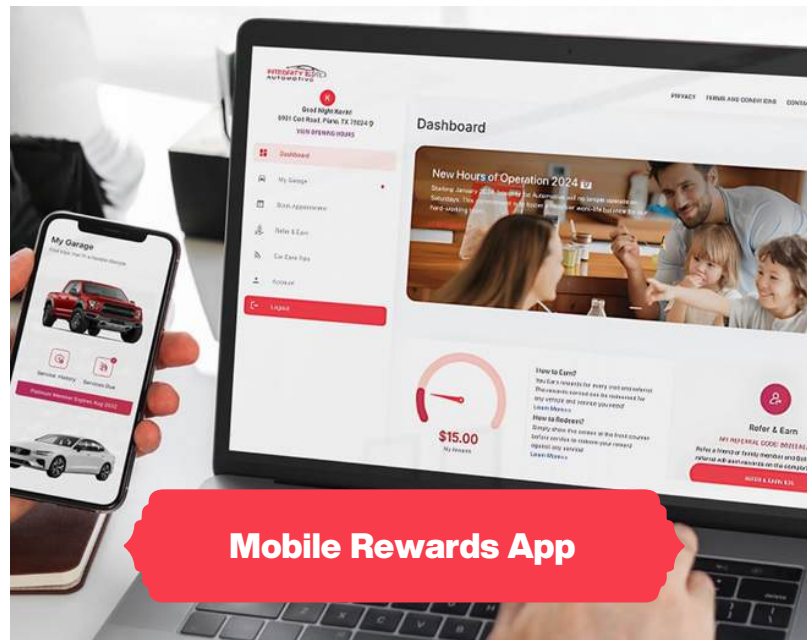
**Digital Dropoff & Shuttle**



**Digital Vehicle Inspections**



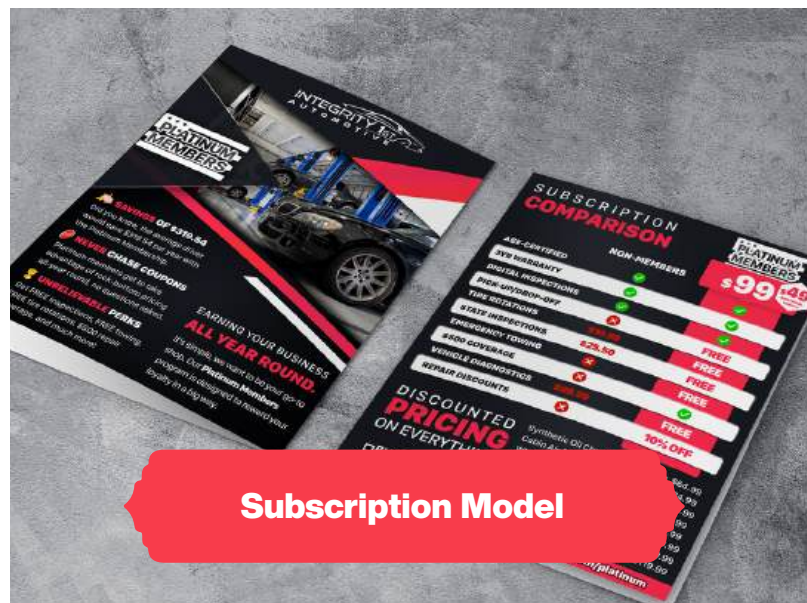
**Massage Chairs!**



**Mobile Rewards App**



**EV & Hybrid Services**



**Subscription Model**

## Proposed Services

### Tire & Wheel Services

*WE DO NOT STOCK OR STORE TIRES. TIRES ARE DISPOSED WEEKLY BY TIRE DISPOSAL SERVICE.*

Tire repair (patching, plugging)

Tire rotations, mounting and balancing

HUNTER® Laser Wheel Alignments

### Diagnostic Services

Engine light/code scanning

Pre-purchase inspections

State vehicle inspections

### Routine Maintenance

*AUTOMATIC EVACUATION AND FILL UNLIKE TRADITIONAL SHOPS USING MANUAL TOOLS/METHODS.*

Oil, air filter and cabin filter replacement

Brake, transmission, and power steering fluid

Brakes, lights, wipers, belts etc.

### A/C Maintenance

*EPA Compliant Systems*

Refrigerant testing and recharging

Compressors & Condensers

Blower motors

### Battery & Electrical

Battery replacement

Alternator and starter replacement

Electrical diagnostics and programming (both EV and ICE vehicles)

ADAS Services

### Suspension & Steering

Shocks and strut replacement

Tie rod end replacement

Ball Joint and Control Arm Replacement



## Vehicle Management & Curb Appeal

Unlike typical repair shops that overflow with vehicles and resemble industrial yards, we believe **customer service begins at the curb**. A clean, manicured exterior sets expectations for the quality and care found within.

Most of our customers come **by appointment**, allowing us to limit intake volume and ensure that all **vehicles are kept indoors at all times**.

We **do not** service vehicles from 1996 or earlier, **avoiding long-term projects or neglected cars** that often contribute to visual clutter.

By maintaining a **clean and uncluttered lot**, we reinforce the professional, upscale image our brand is known for; something clients and neighbors notice before ever stepping inside.

## Noise Control & Low-Impact Equipment

We are **not engaged in any heavy-line repairs** (e.g., engine or transmission rebuilds), and as such, **we avoid high-noise or industrial-level activities**. The nature of our equipment supports this:

- Tire machines and balancers **operate below 70 dB**, quieter than a vacuum cleaner.
- For the last 5 years, we no longer equip pneumatic tools and we use **quiet Electric impact tools**.
- **NO** cutting, welding, or grinding equipment is used in routine service.

## Air Quality & Vapor Control

Our services generate negligible vapors, consistent with what the UDC defines as "mild."

- Unlike lube shops which handle hundreds of oil and related services per day requiring massive storage, **we only stock minimal fluids to handle 2-3 oil changes per day.**
- Oil and fluids are stored in sealed, UL-listed containers in **compliance with fire and environmental codes.**
- We use **evacuation-style fluid exchange machines**, which prevent open-pour spills or emissions.
- Waste oil and filters are disposed of via **licensed environmental vendors**, minimizing exposure or vaporization.
- **We do NOT render pollutant-heavy services** such as paint and bodywork, carburetor rebuilding, engine or transmission teardowns, or high-pressure cleaning





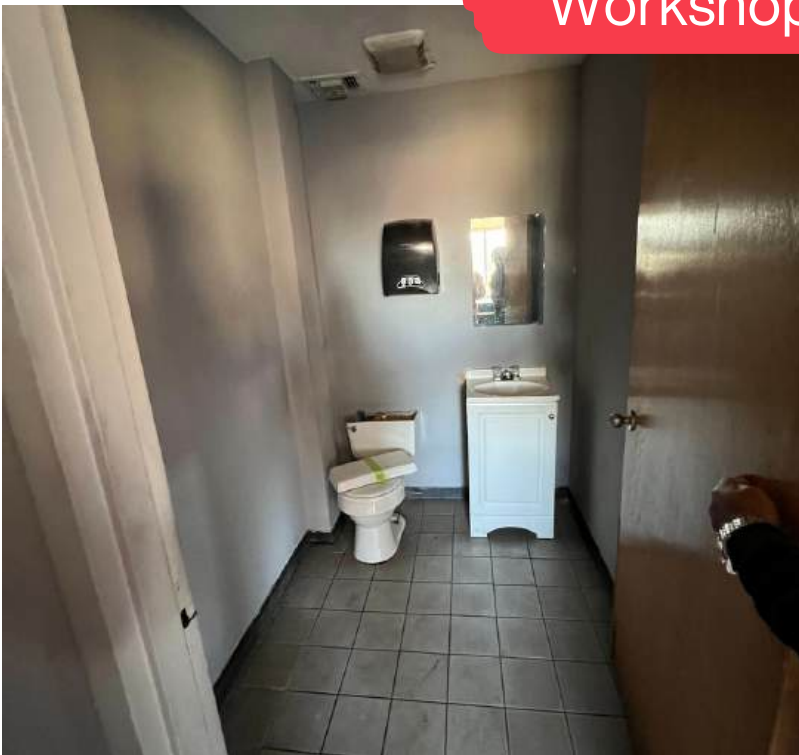
(646) 420-5718

k.syed@integritylauto.com

www.integritylauto.com



**Before & Afters**  
Workshop & Restroom



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MAJOR AUTO REPAIR GARAGE* ON A 0.90-ACRE TRACT OF LAND IDENTIFIED AS 4-6 OF THE N. M. BALLARD SURVEY, ABSTRACT NO. 24, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Tyler Adams of Greenlight Studio, LLC on behalf of Michael Grose of Max Realty Holdings LLC for the approval of a *Specific Use Permit (SUP)* for a *Major Auto Repair Garage* on a 0.90-acre tract of land identified as Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of SH-276 and T. L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *Major Auto Repair Garage* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, Subsection 05.02, *Light Industrial (LI) District Standards*, and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:



### 3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Major Auto Repair Garage* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development of a *Major Auto Repair Garage* on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Major Auto Repair Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, the proposed *Major Auto Repair Garage* shall be subject to all of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). Review for conformance to these requirements shall be completed with the site plan submittal. In addition, a recommendation by the Architecture Review Board (ARB) shall be required prior to approval of the building elevations by the Planning and Zoning Commission. The approval of this Specific Use Permit (SUP) shall not constitute the approval of variances or exceptions to any of the standards stipulated by the Unified Development Code (UDC) with regard to the design of the *Major Auto Repair Garage*.
- 3) All outside storage on the subject property shall conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 4) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

### 3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged

invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: November 17, 2025

2<sup>nd</sup> Reading: December 1, 2025



**Exhibit 'A':  
Location Map**

Legal Description: Tract 4-6 of the N. M. Ballard Survey, Abstract No. 24

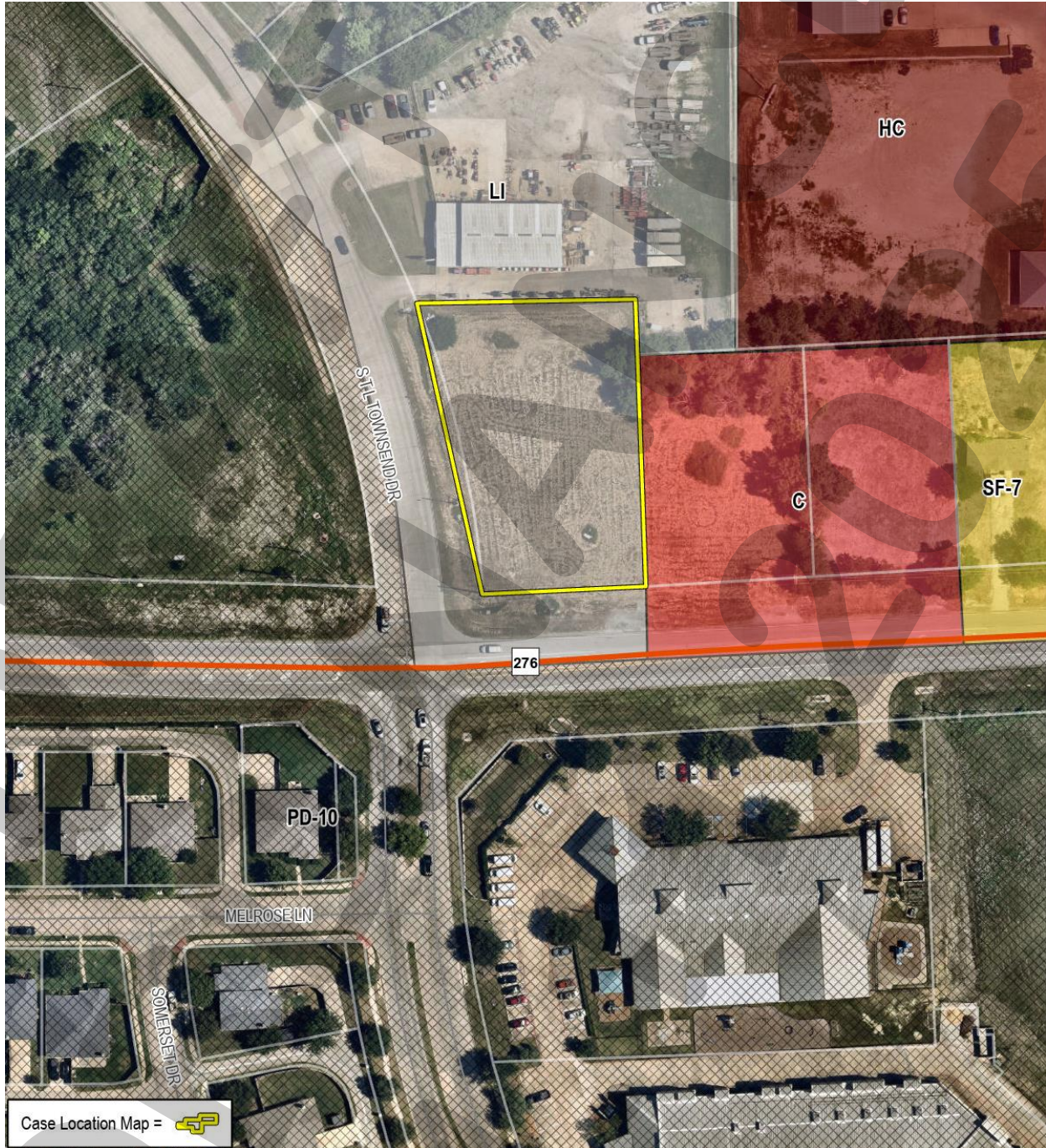
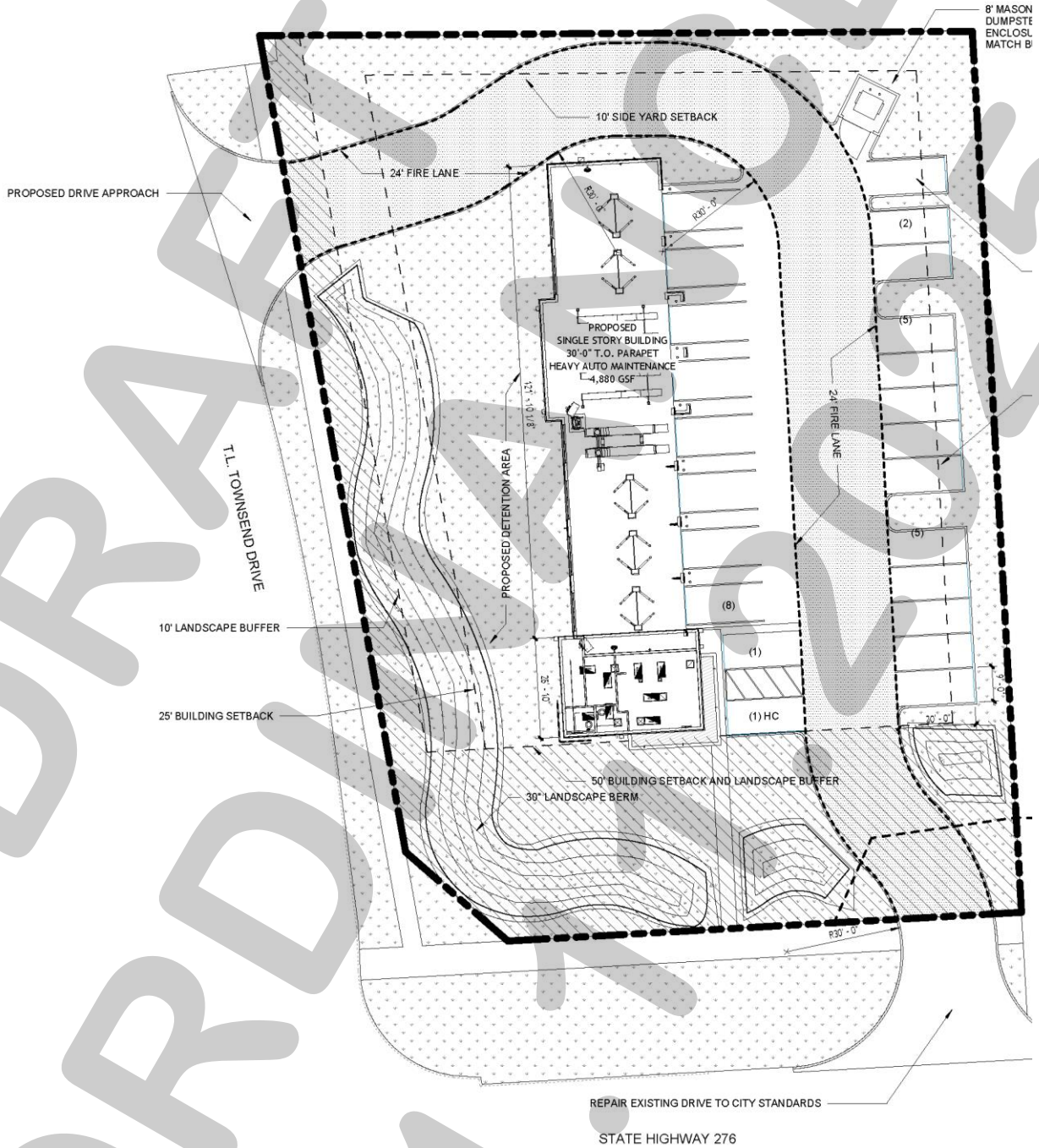




Exhibit 'B':  
Concept Plan





**Exhibit 'C':  
Building Elevations**

